



750 RDWD

No.	Date	Description

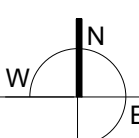
PROFESSIONAL SEAL

OWNER:	RENOVATE
PROJECT ADDRESS:	750 N REDWOOD RD SALT LAKE CITY, UT 84116
ARCH PROJECT #:	20-10
A.C.B.I.:	JDH
PHASE:	SCHEMATIC DESIGN
PUBLISH DATE:	04 JUNE 2021
SHEET SCALE:	
SHEET NAME:	3D VIEWS



82 THREE
STORY UNITS
(41) 18'-0" W UNITS
(41) 15'-0" W UNITS

1 LEVEL 1 PLAN - Unit Mix
1/16" = 1'-0"



KEYNOTES

- 17 PERIMETER FENCING
- 18 DUMPSTER

GROSS BUILDING...

NAME	AREA
BLDG 1	
LEVEL 1	1,408 SF
LEVEL 1 - GARAGE	2,427 SF
LEVEL 2	3,925 SF
LEVEL 3	4,097 SF
BLDG 1	11,857 SF
BLDG 2	
LEVEL 1	1,418 SF
LEVEL 1 - GARAGE	2,427 SF
LEVEL 2	3,925 SF
LEVEL 3	4,097 SF
BLDG 2	11,867 SF
BLDG 3	
LEVEL 1	1,411 SF
LEVEL 1 - GARAGE	2,427 SF
LEVEL 2	3,925 SF
LEVEL 3	4,097 SF
BLDG 3	11,860 SF
BLDG 4	
LEVEL 1	1,408 SF
LEVEL 1 - GARAGE	2,427 SF
LEVEL 2	3,925 SF
LEVEL 3	4,097 SF
BLDG 4	11,857 SF
BLDG 5	
LEVEL 1	1,241 SF
LEVEL 1 - GARAGE	2,110 SF
LEVEL 2	3,356 SF
LEVEL 3	3,579 SF
BLDG 5	10,286 SF
BLDG 6	
LEVEL 1	1,408 SF
LEVEL 1 - GARAGE	2,427 SF
LEVEL 2	3,925 SF
LEVEL 3	4,097 SF
BLDG 6	11,857 SF
BLDG 7	
LEVEL 1	1,452 SF
LEVEL 1 - GARAGE	2,505 SF
LEVEL 2	4,031 SF
LEVEL 3	4,219 SF
BLDG 7	12,207 SF
BLDG 8	
LEVEL 1	1,447 SF
LEVEL 1 - GARAGE	2,499 SF
LEVEL 2	4,033 SF
LEVEL 3	4,219 SF
BLDG 8	12,198 SF
BLDG 9	
LEVEL 1	1,451 SF
LEVEL 1 - GARAGE	2,505 SF
LEVEL 2	4,033 SF
LEVEL 3	4,219 SF
BLDG 9	12,208 SF
BLDG 10	
LEVEL 1	1,447 SF
LEVEL 1 - GARAGE	2,499 SF
LEVEL 2	4,033 SF
LEVEL 3	4,219 SF
BLDG 10	12,198 SF
BLDG 11	
LEVEL 1	1,241 SF
LEVEL 1 - GARAGE	2,110 SF
LEVEL 2	3,385 SF
LEVEL 3	3,579 SF
BLDG 11	10,315 SF
BLDG 12	
LEVEL 1	1,447 SF
LEVEL 1 - GARAGE	2,499 SF
LEVEL 2	4,033 SF
LEVEL 3	4,219 SF
BLDG 12	12,198 SF
Grand total: 48	140,911 SF

PARKING

TYPE	COUNT
9'0" x 17'-6" ADA	1
9'x18"	7
PARALLEL - OFF STREET	6
	14

PROPERTY

Name	Area	Acres
SITE	98,790 SF	2.27

ZONING ANALYSIS

ZONING JURISDICTION: SALT LAKE CITY ZONE: CB - COMMUNITY BUSINESS		
SETBACKS: FRONT YARD SIDE YARD REAR YARD	NO MIN REQ'D, MAX 15' NONE REQ'D 10'	
LANDSCAPE BUFFER	7' AT RESIDENTIAL	
MAX BUILDING HEIGHT	REQ'D 30'	PROPOSED 30'
PARKING: MINIMUM PARKING SPACES 1 SPACE PER UNIT PUBLIC PARKING SPACES MAXIMUM PARKING SPACES TABLE 21A.44.030	82 SPACES 0 SPACES 102.5 SPACES	96 SPACES 14 SPACES 90 SPACES
ADA PARKING SECTION 21A.44.020	1 SPACES	1 SPACES



454 N 600 W, SLC, UT 84116
e: howdy@divelept.com
p: 801-680-4485
w: www.divelept.com

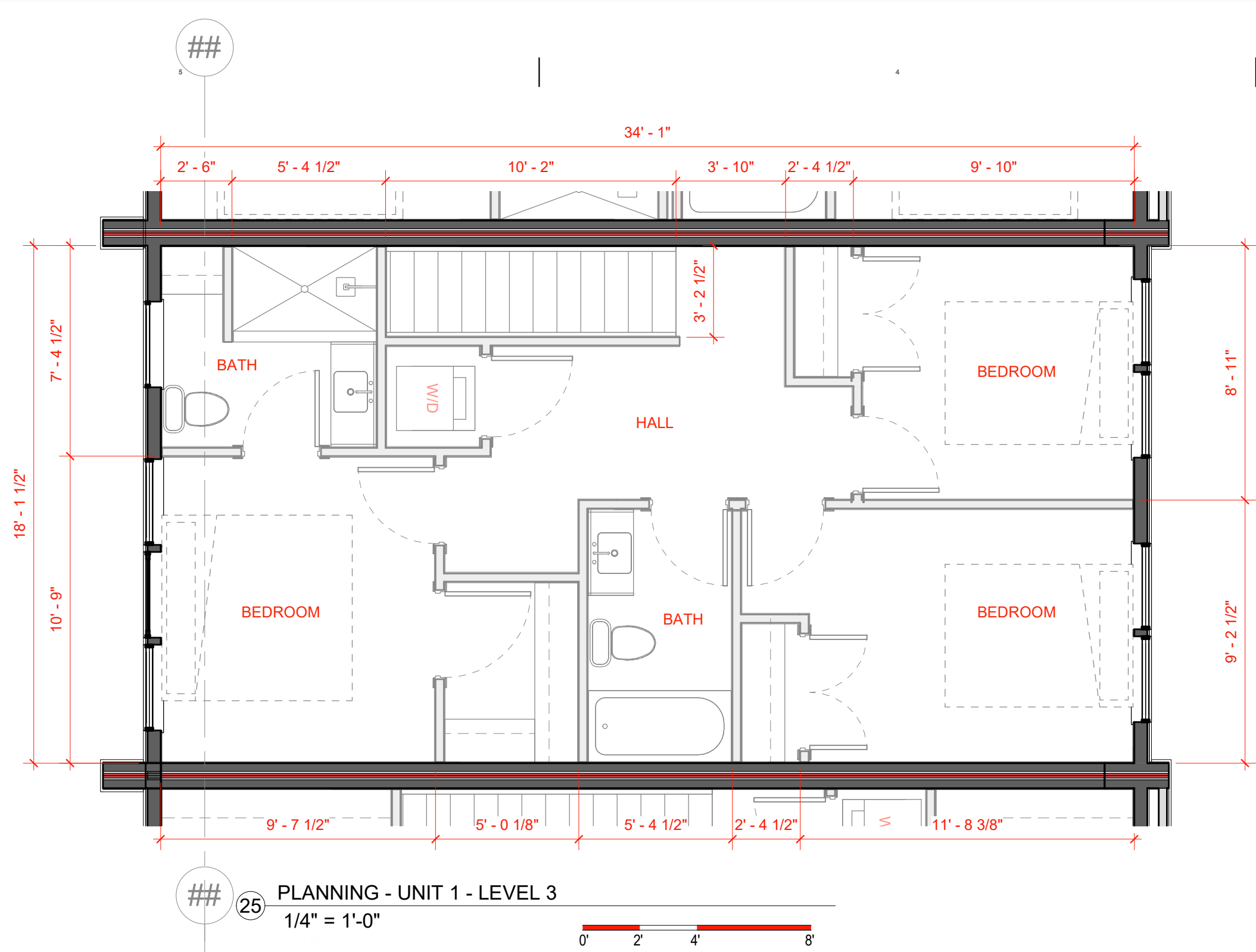
750 RDWD

No.	Date	Description
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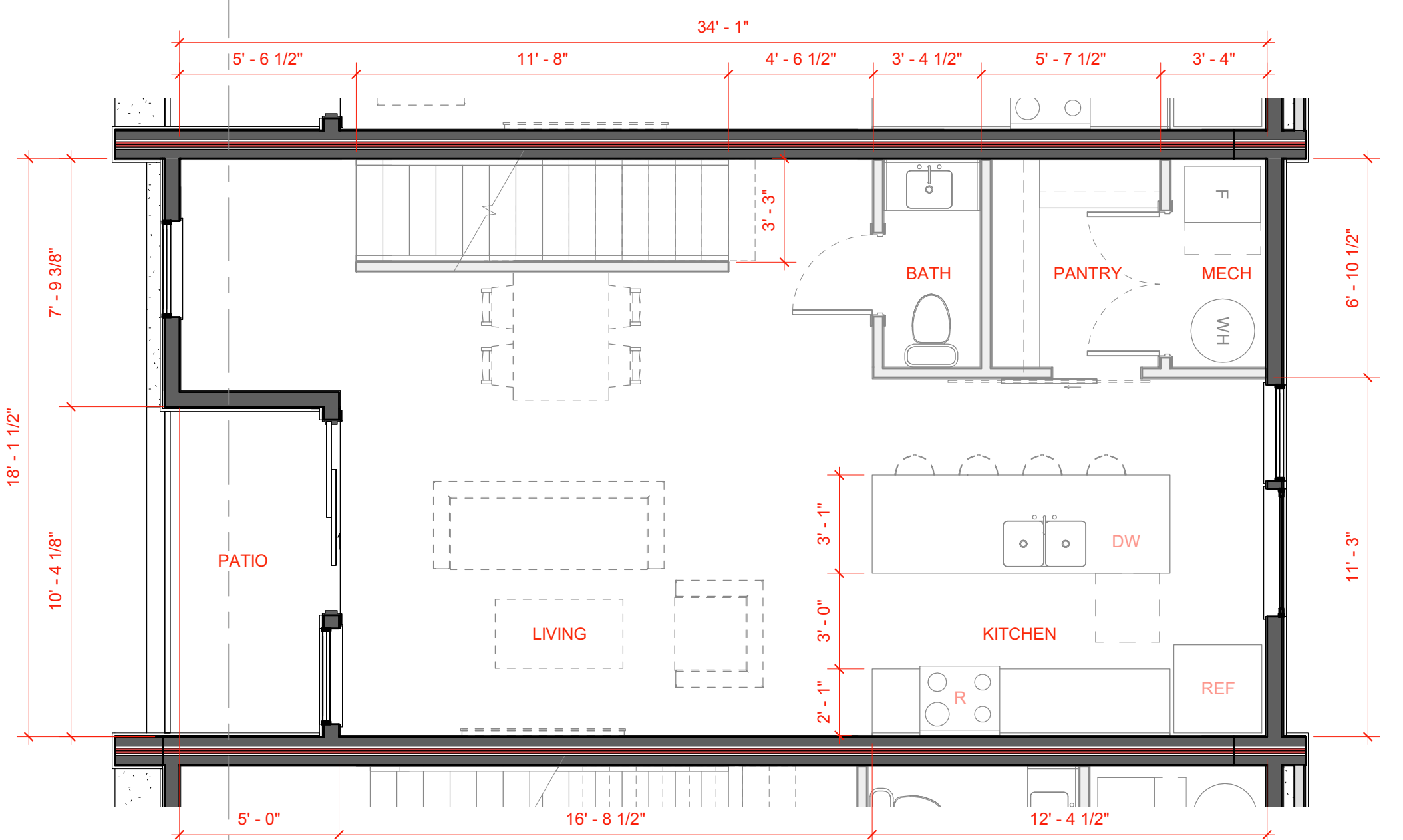
PROFESSIONAL SEAL

SITE PLAN

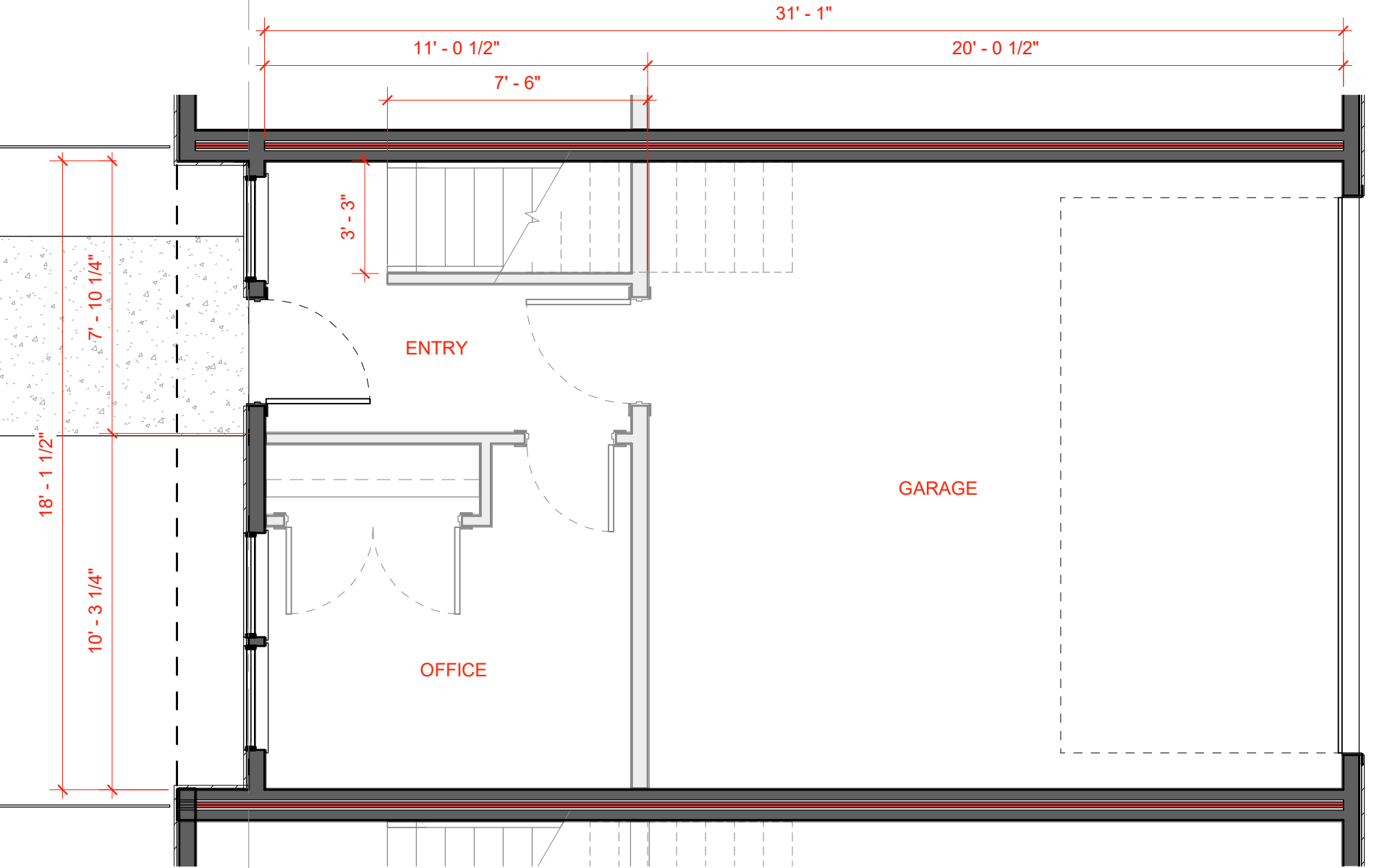
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ARCH PROJECT #:	20-10
A.C.R.:	JDH
PHASE:	SCHEMATIC DESIGN
PUBLISH DATE:	04 JUNE 2021
SHEET SCALE:	As indicated
SHEET NAME:	



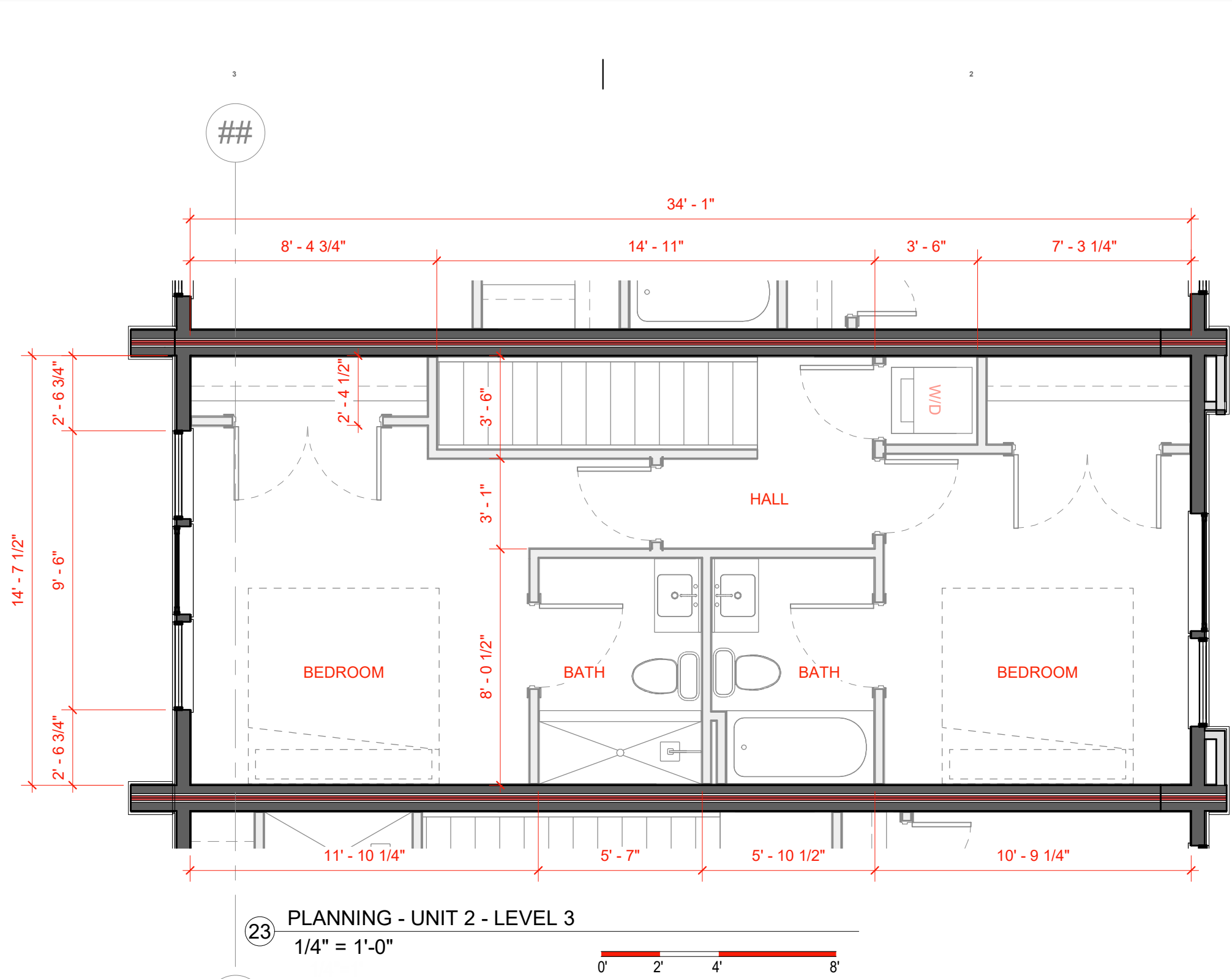
25 PLANNING - UNIT 1 - LEVEL 3
1/4" = 1'-0"



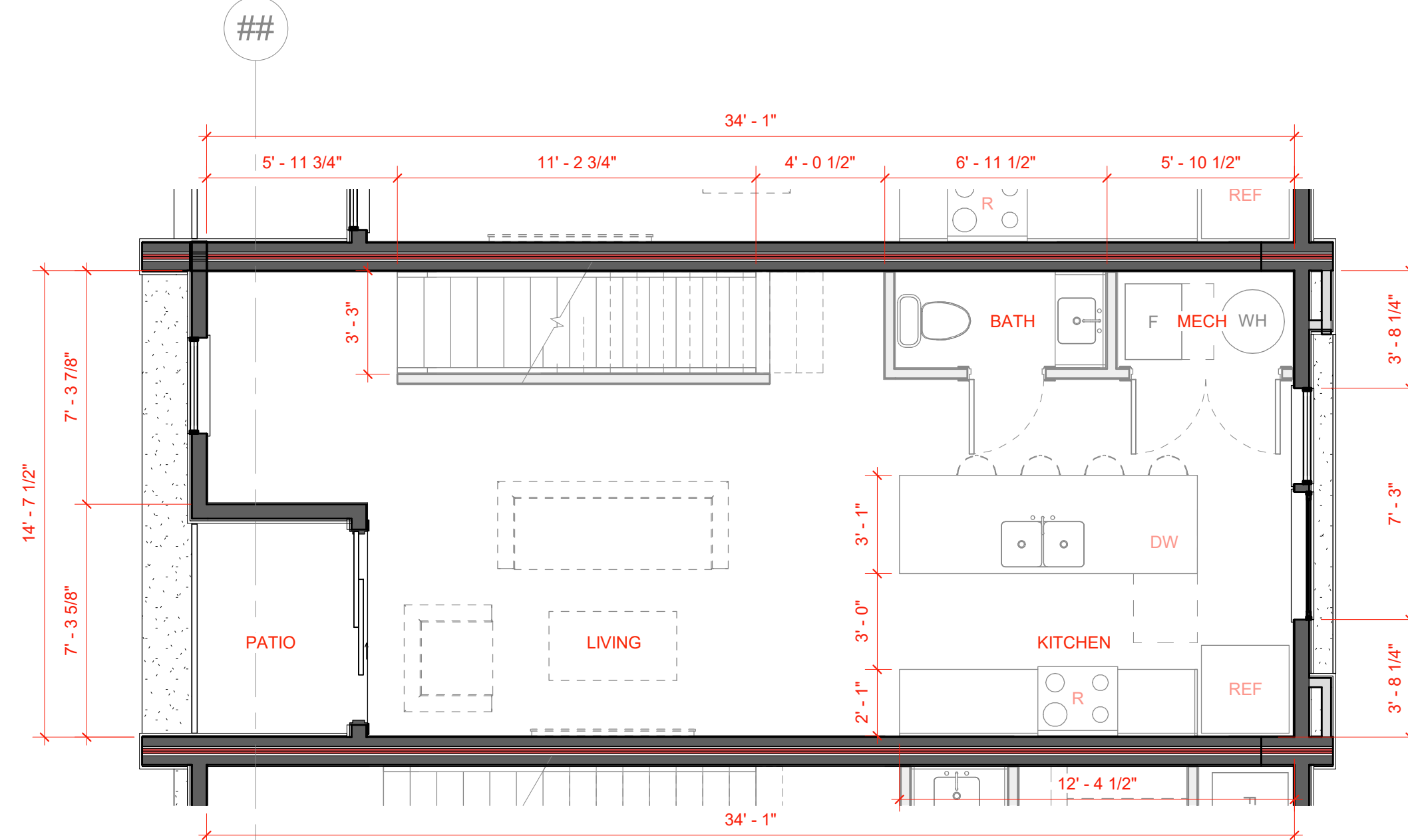
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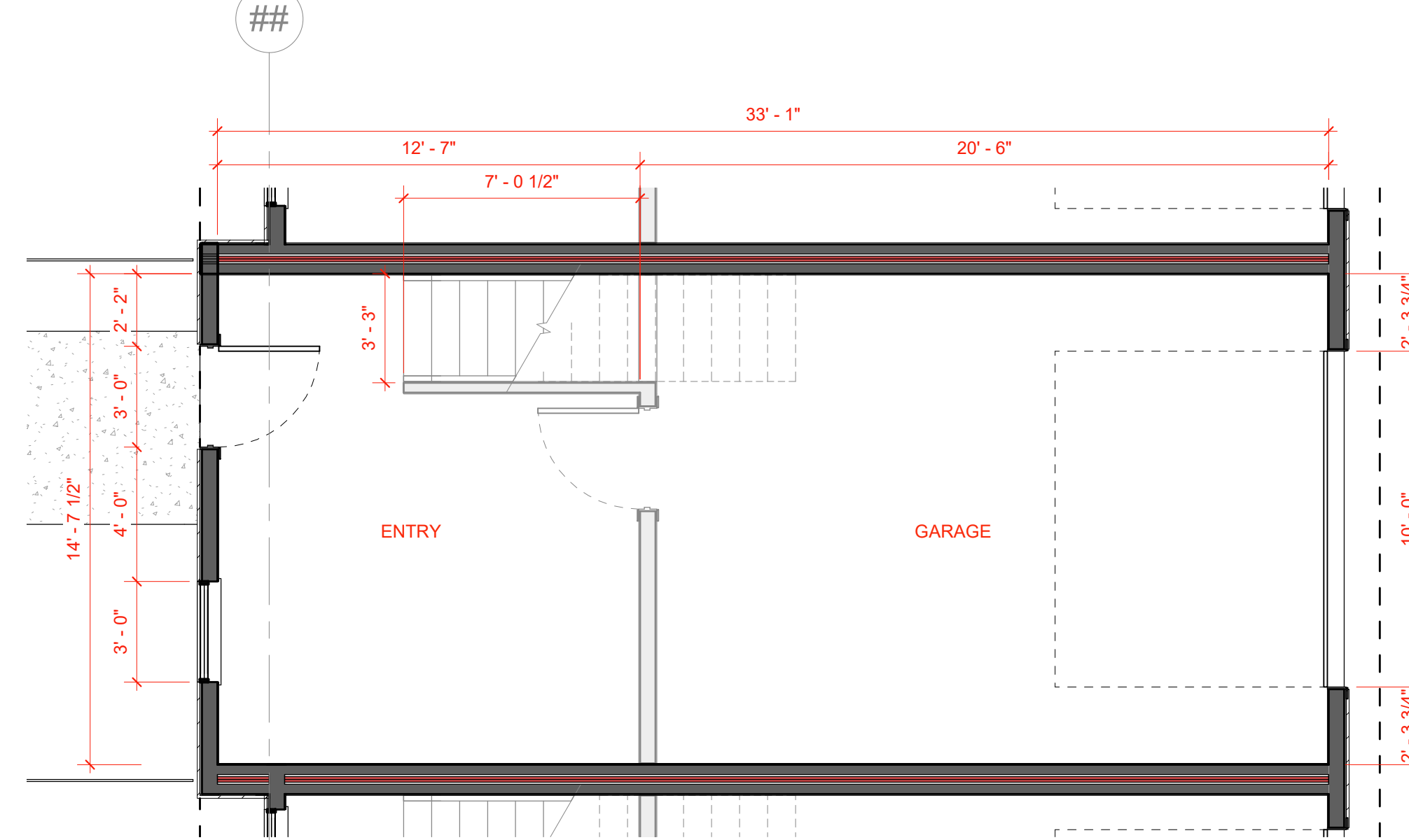
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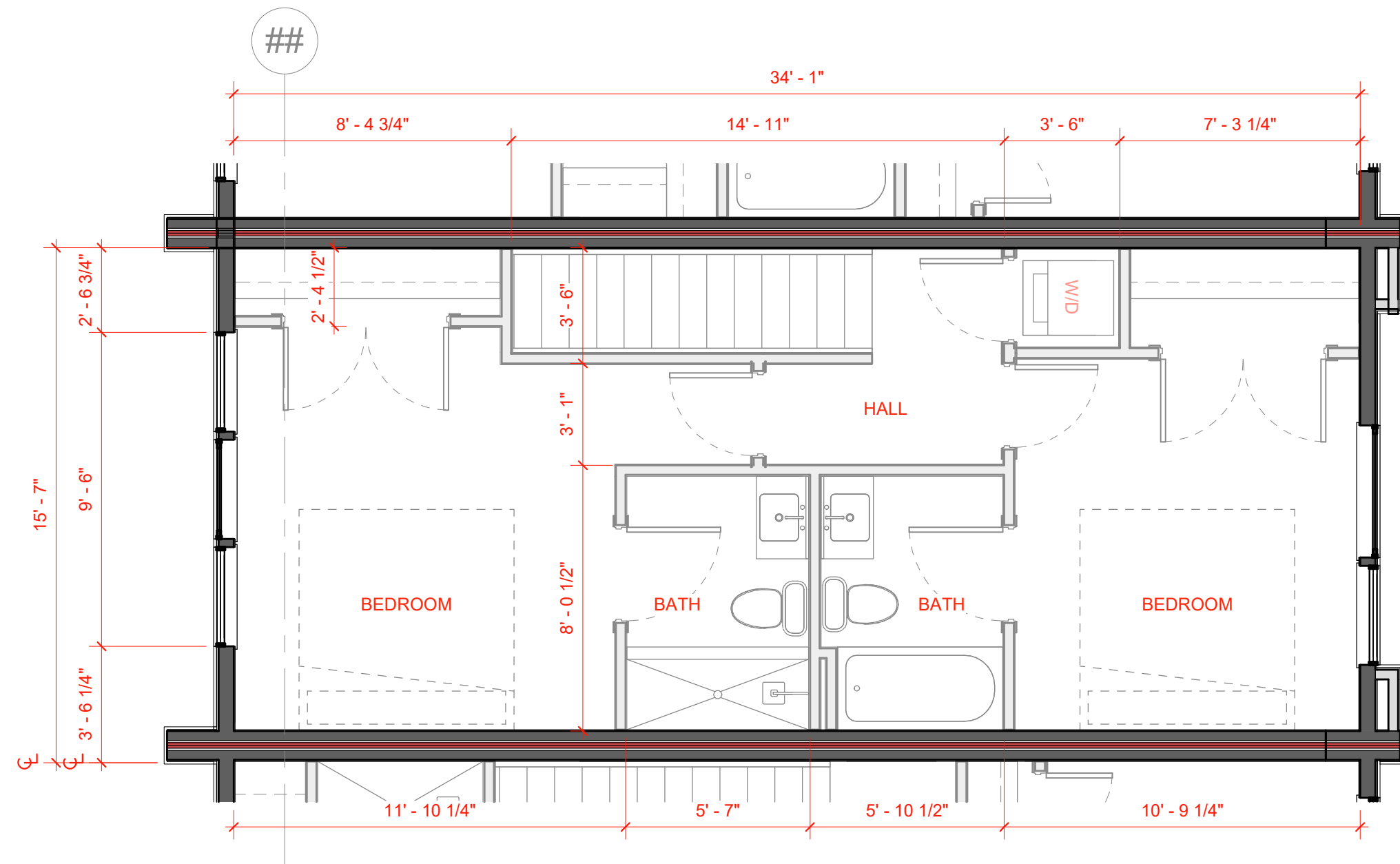
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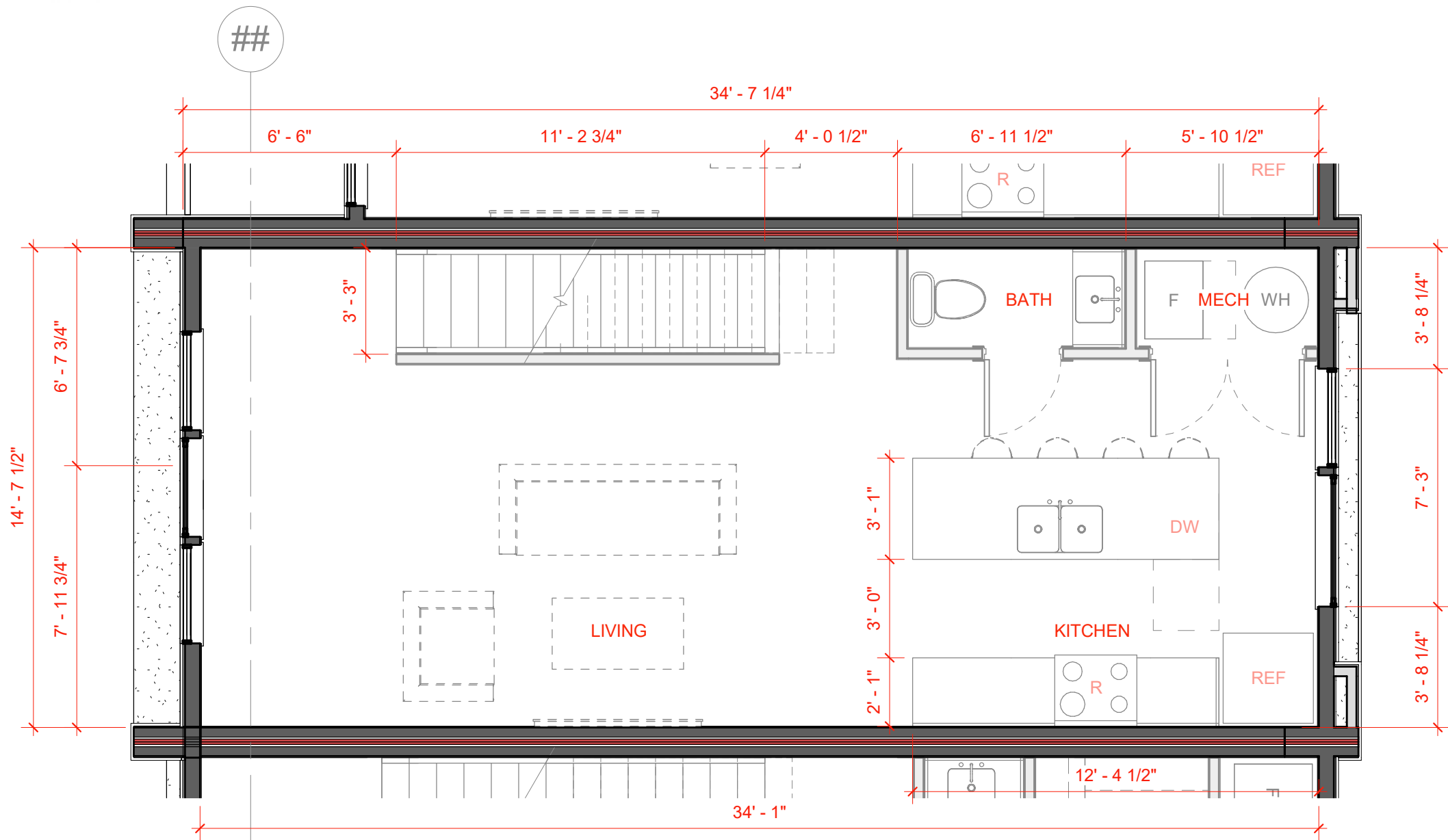
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1/4" = 1'-0"



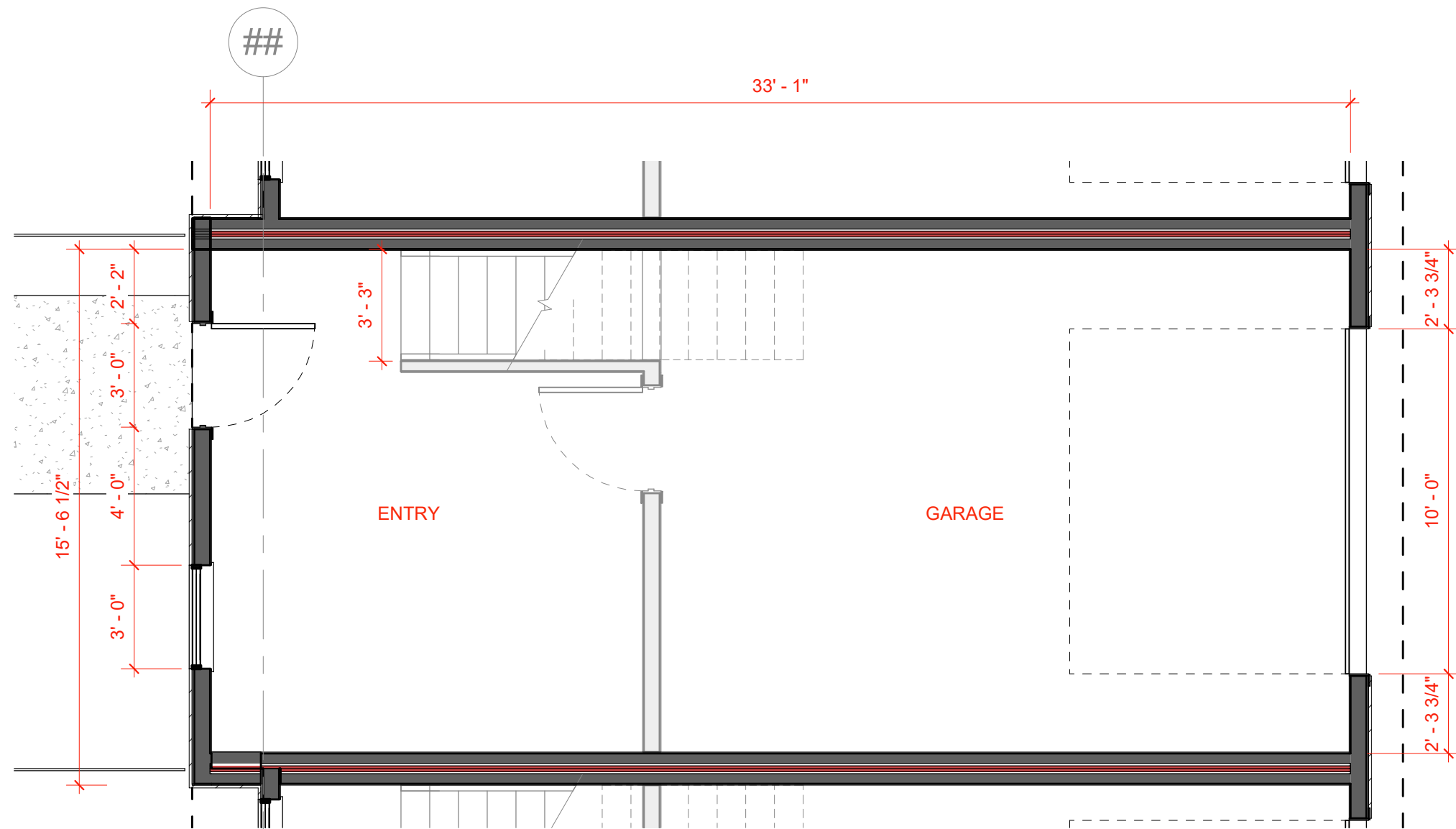
43 PLANNING - UNIT 2 - LEVEL 1
1/4" = 1'-0"



③ PLANNING - UNIT 3 - LEVEL 3
1/4" = 1'-0"



② PLANNING - UNIT 3 - LEVEL 2
1/4" = 1'-0"



① PLANNING - UNIT 3 - LEVEL 1
1/4" = 1'-0"

750 RDWD

NO.	DATE	DESCRIPTION
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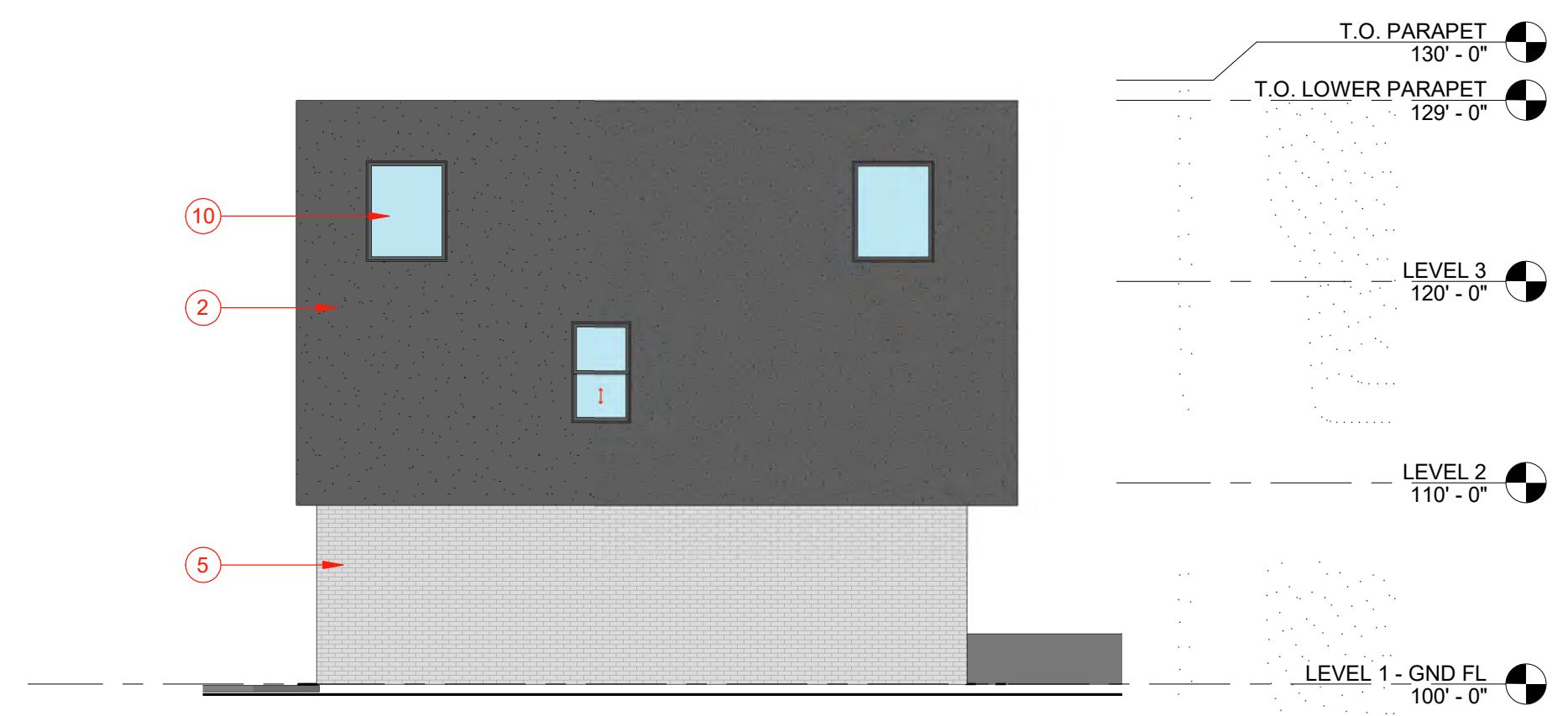
PROFESSIONAL SEAL

OWNER:	RENOVATE
PROJECT ADDRESS:	750 N REDWOOD RD SALT LAKE CITY, UT 84116
ARCH PROJECT #:	20-10
A.C.B.I.:	JDH
PHASE:	SCHEMATIC DESIGN
PUBLISH DATE:	04 JUNE 2021
SHEET SCALE:	1/4" = 1'-0"
SHEET NAME:	FLOOR PLANS

- KEYNOTES**
- 1 FIBER CEMENT BOARD
 - 2 STUCCO - DARK BROWN
 - 3 STUCCO - CREAM
 - 4 STUCCO - BURNT ORANGE
 - 5 CREAM COLORED BRICK VENEER
 - 6 ENTRY DOOR
 - 8 GARAGE DOOR
 - 9 OPERABLE WINDOW
 - 10 WINDOW
 - 12 GUARDRAIL
 - 13 AC UNIT
 - 16 ASPHALT SHINGLE ROOF
 - 17 PERIMETER FENCING



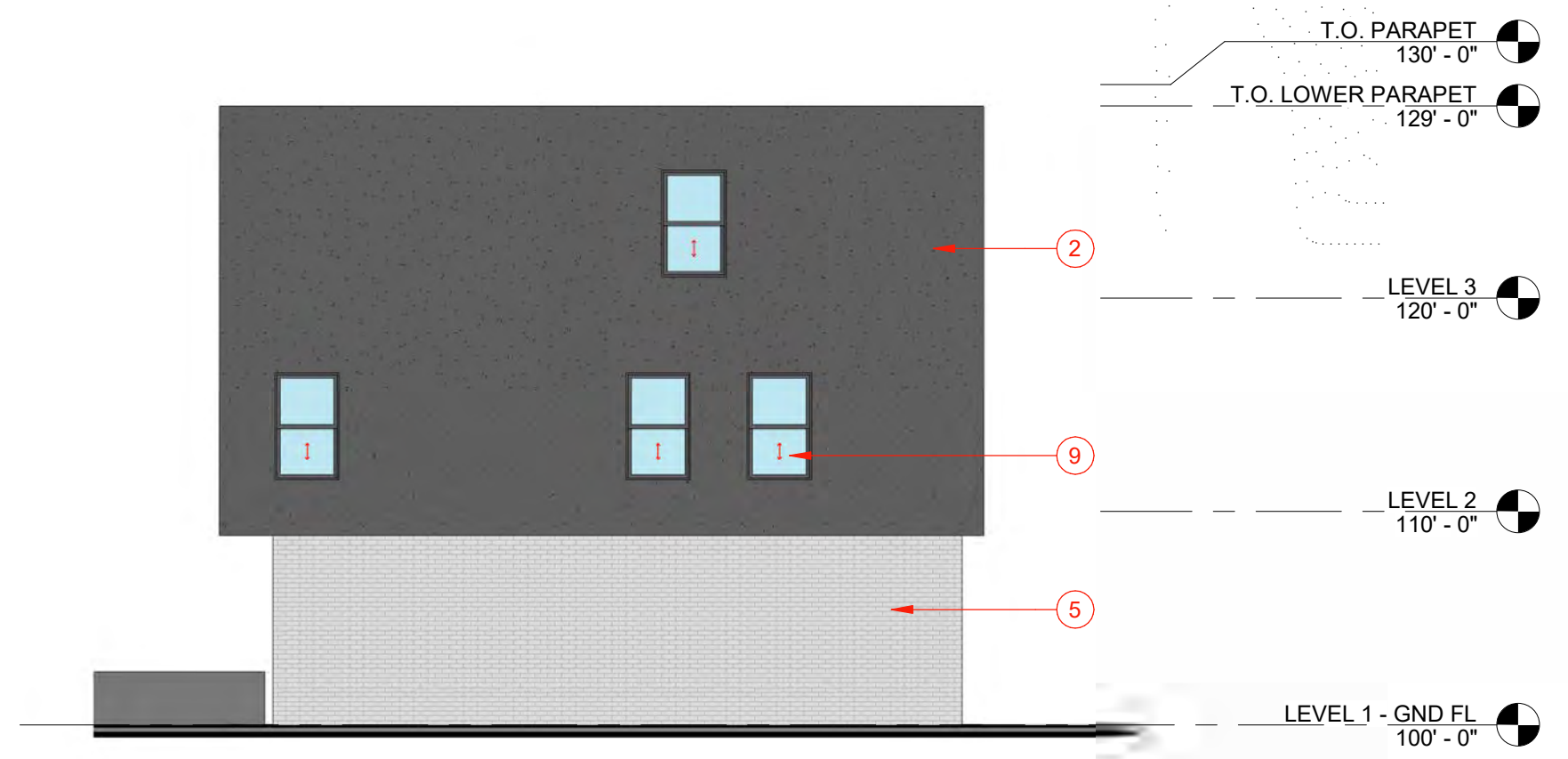
1 PLANNING - MODEL A - GARAGE ELEVATION
1/8" = 1'-0"



3 PLANNING - MODEL A - PROPERTY LINE ELEVATION
1/8" = 1'-0"



2 PLANNING - MODEL A - FRONT ELEVATION
1/8" = 1'-0"



4 PLANNING - MODEL A - ROAD SIDE ELEVATION
1/8" = 1'-0"

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PROFESSIONAL SEAL

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PHASE:	SCHEMATIC DESIGN
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SHEET SCALE:	1/8" = 1'-0"
SHEET NAME:	

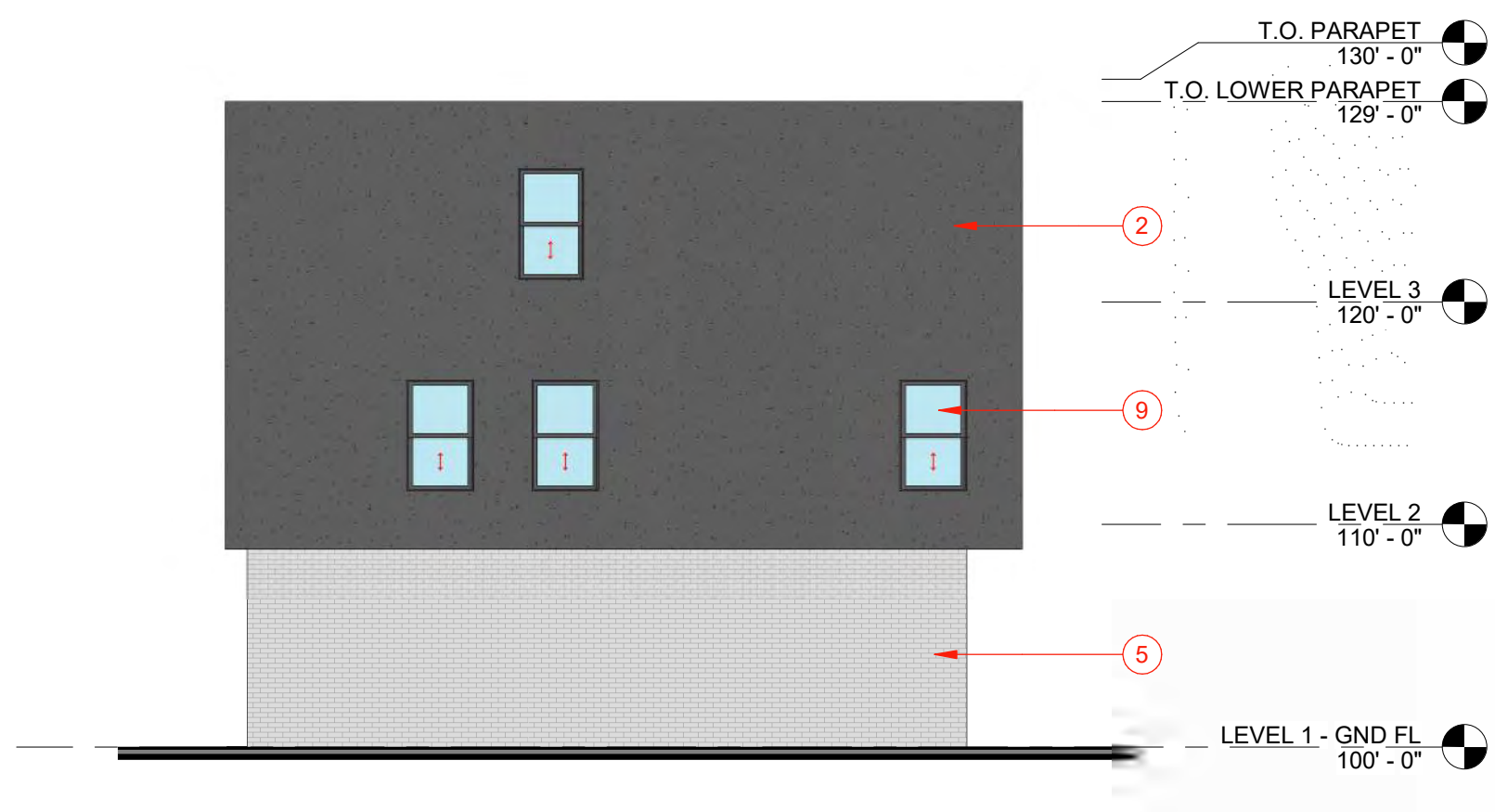
**MODEL A
ELEVATIONS**

KEYNOTES

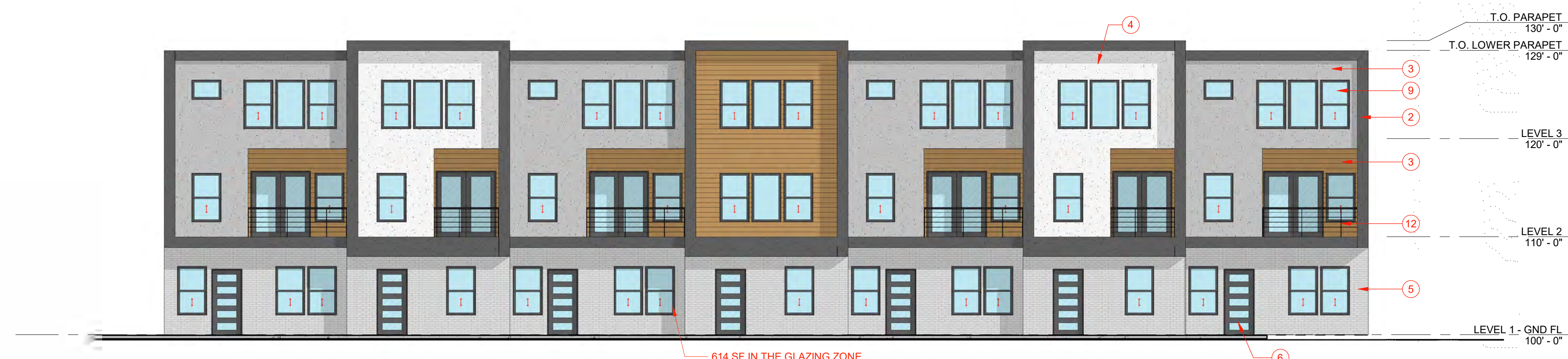
- 1 FIBER CEMENT BOARD
- 2 STUCCO - DARK BROWN
- 3 STUCCO - CREAM
- 4 STUCCO - BURNT ORANGE
- 5 CREAM COLORED BRICK VENEER
- 6 ENTRY DOOR
- 8 GARAGE DOOR
- 9 OPERABLE WINDOW
- 10 WINDOW
- 12 GUARDRAIL
- 16 ASPHALT SHINGLE ROOF



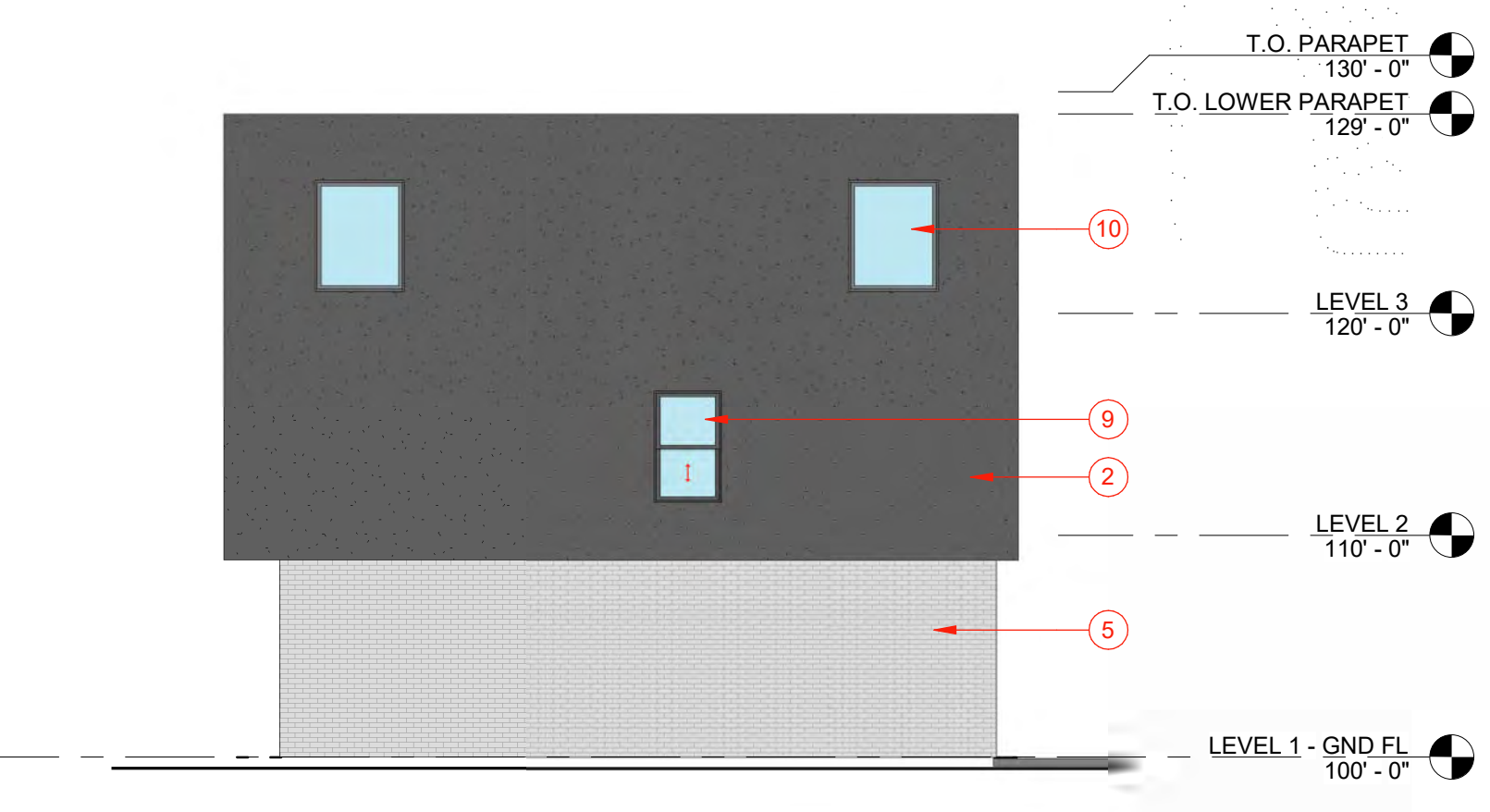
3 PLANNING - MODEL B - GARAGE ELEVATION
1/8" = 1'-0"



4 PLANNING - MODEL B - ROAD SIDE ELEVATION
1/8" = 1'-0"



2 PLANNING - MODEL B - FRONT ELEVATION
1/8" = 1'-0"



1 PLANNING - MODEL B - PROPERTY LINE ELEVATION
1/8" = 1'-0"

750 RDWD

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PROFESSIONAL SEAL

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ARCH PROJECT #:	20-10
A.C.B.L.:	JDH
PHASE:	SCHEMATIC DESIGN
PUBLISH DATE:	04 JUNE 2021
SHEET SCALE:	1/8" = 1'-0"
SHEET NAME:	

MODEL B
ELEVATIONS

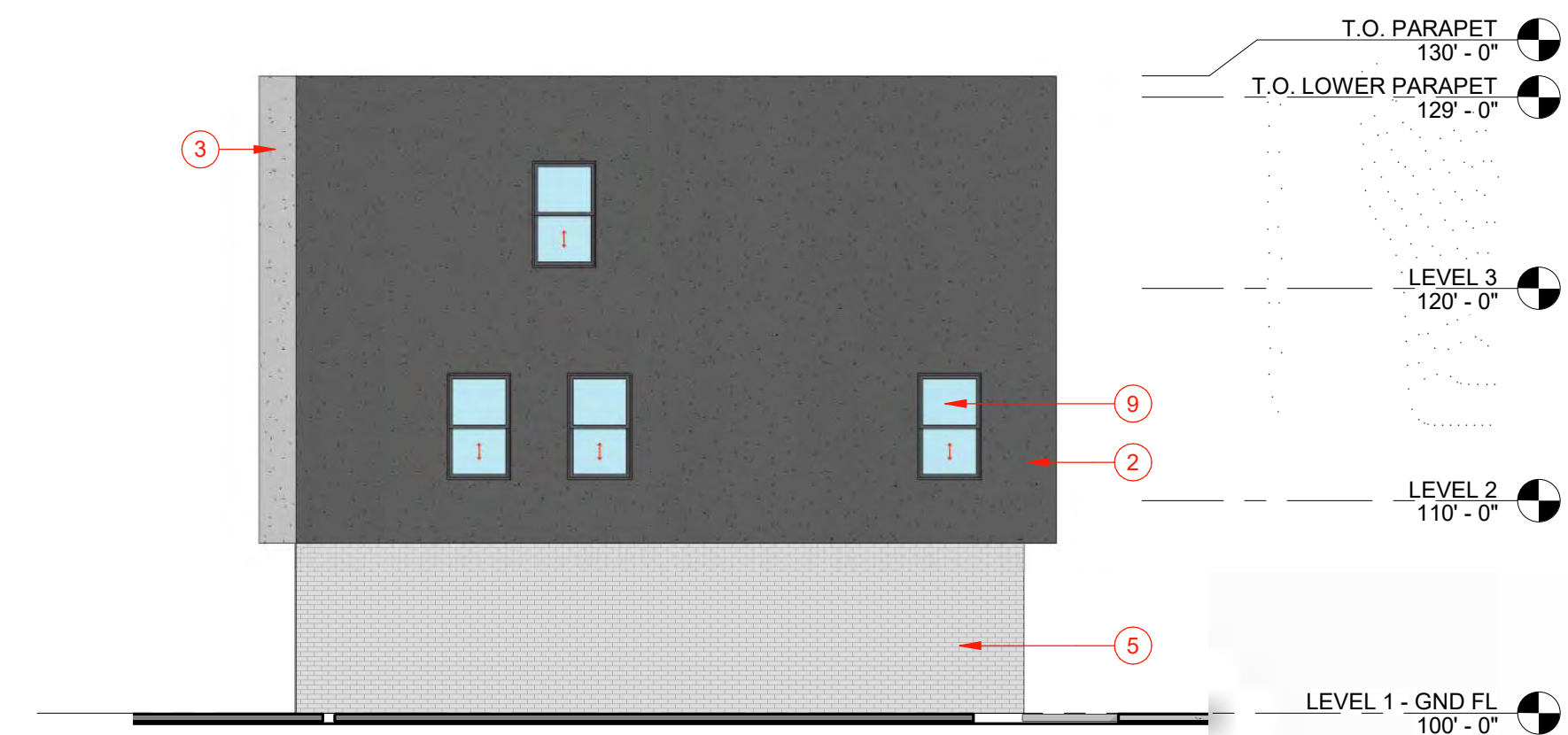
KEYNOTES

- 1 FIBER CEMENT BOARD
- 2 STUCCO - DARK BROWN
- 3 STUCCO - CREAM
- 4 STUCCO - BURNT ORANGE
- 5 CREAM COLORED BRICK VENEER
- 6 ENTRY DOOR
- 8 GARAGE DOOR
- 9 OPERABLE WINDOW
- 10 WINDOW
- 12 GUARDRAIL
- 17 PERIMETER FENCING



1 PLANNING - MODEL C - GARAGE ELEVATION
1/8" = 1'-0"

0' 4' 8' 16'



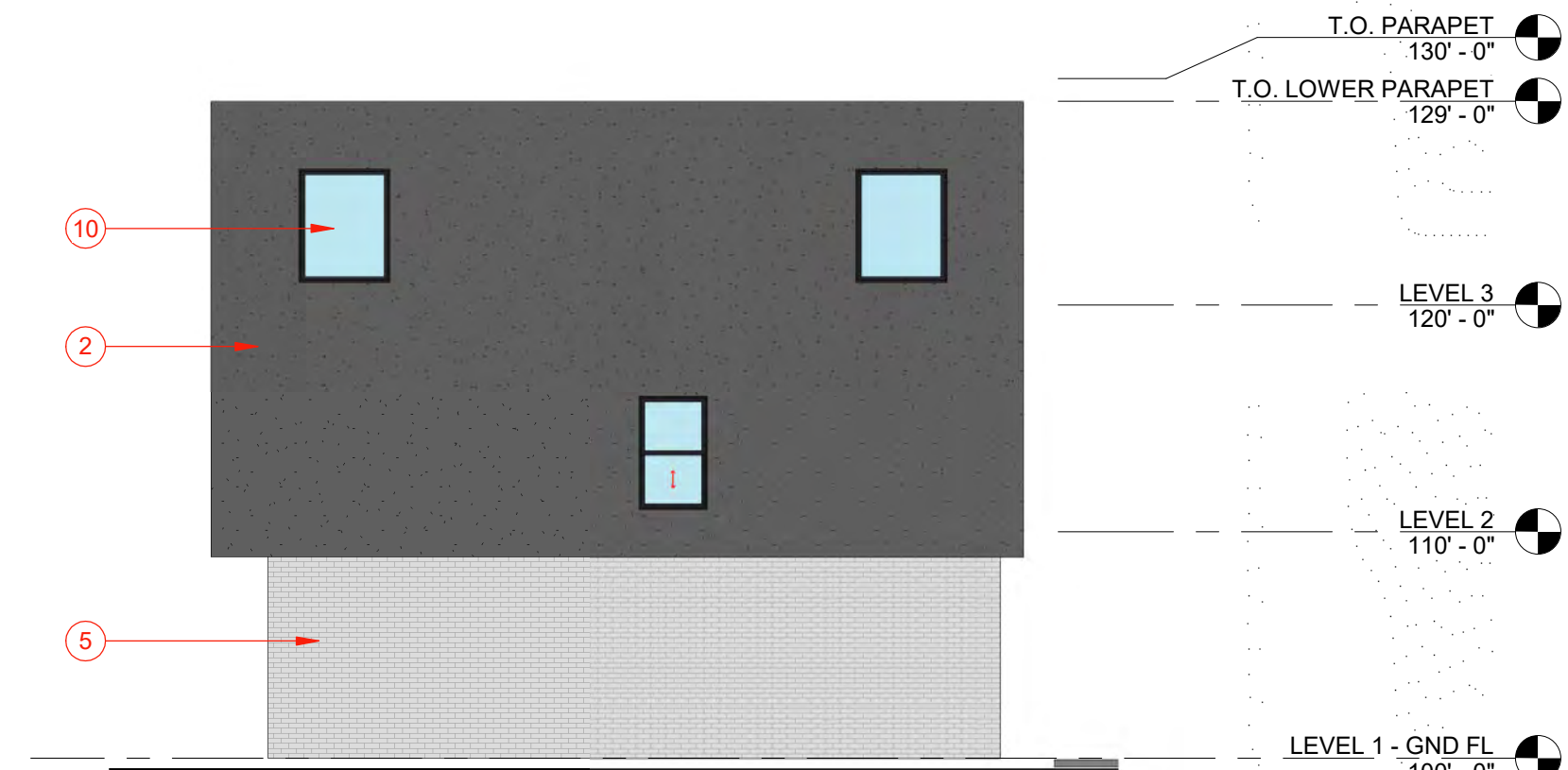
3 PLANNING - MODEL C - ROAD SIDE ELEVATION
1/8" = 1'-0"

0' 4' 8' 16'



2 PLANNING - MODEL C - FRONT ELEVATION
1/8" = 1'-0"

0' 4' 8' 16'



4 PLANNING - MODEL C - PROPERTY LINE ELEVATION
1/8" = 1'-0"

0' 4' 8' 16'

REVISIONS
No. Date Description

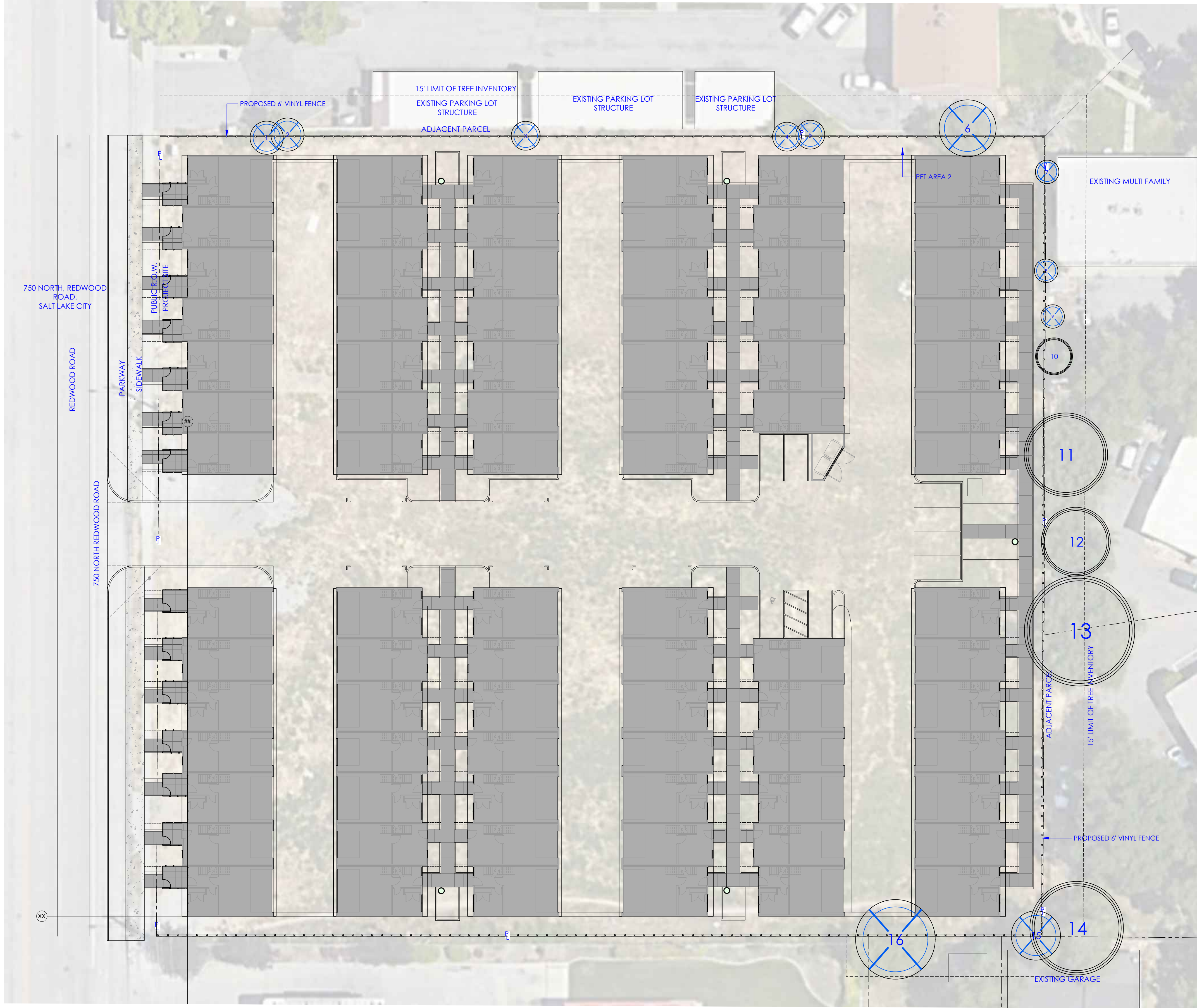
PROFESSIONAL SEAL

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PROJECT ADDRESS: **750 N REDWOOD RD
SALT LAKE CITY, UT 84116**
ARCH PROJECT #: **20-10**
A.O.B.I.: **JDH**
PHASE: **SCHEMATIC DESIGN**
PUBLISH DATE: **04 JUNE 2021**
SHEET SCALE: **1/8" = 1'-0"**
SHEET NAME:

**MODEL C
ELEVATIONS**

SHEET NUMBER:
A7
DIVELEPT DESIGN LLC © 2021

6/10/2021 12:20:42 AM



EXISTING TREE SCHEDULE

SYMBOL	DESCRIPTION
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO PROTECTED - NEIGHBORING PROPERTY

NOTES:
1. NOT ALL TREES MAY BE ACCOUNTED FOR - CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY AND REMOVE ANY TREES THAT ARE NOT MARKED ON PLAN THAT ARE OF NUISANCE VARIETIES.
2. ALL NEIGHBORING VEGETATION IS CONTRACTOR'S RESPONSIBILITY TO PROTECT IN PLACE
3. ALL EXISTING LANDSCAPE AREAS TO BE CLEARED AND GRUBBED

EXISTING CONDITIONS:
R.O.W.:
-NO EXISTING VEGETATION WITHIN PARKSTRIP
PRIVATE SITE:
-ALL NON-INVASIVE VEGETATION FOUND ON-SITE OR TOUCHING PROPERTY LINE IS IN BAD HEALTH DUE TO POOR GROWING CONDITIONS, LACK OF MAINTENANCE, DISEASE, OR IS GROWING THROUGH EXISTING INFRASTRUCTURE AND WILL REQUIRE REMOVAL
-EXISTING HEALTHY VEGETATION FOUND IS OF NUISANCE VARIETIES THAT HAS NATURALLY RE-SEEDDED/SUCKERED ALONG THE PROPERTY LINE AND IS TO BE REMOVED

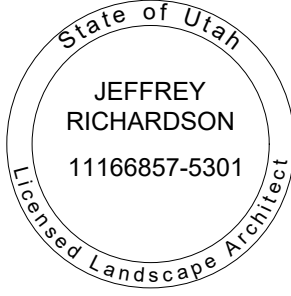
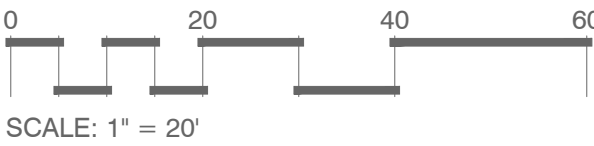
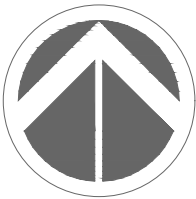


EXISTING SITE

EXISTING VEGETATION SCHEDULE

VEGETATION NUMBER	ACTION	TREE SPECIES	CONDITION	DBH	LOCATION	NOTE
1	DEMO	TREE OF HEAVEN	FAIR	2"	PRIVATE	INVASIVE
2	DEMO	RED MAPLE	POOR	4"	PRIVATE	SMALL GROWING SPACE
3	DEMO	TREE OF HEAVEN	FAIR	2"	PRIVATE	INVASIVE
4	DEMO	TREE OF HEAVEN	POOR	2"	PRIVATE	INVASIVE
5	DEMO	TREE OF HEAVEN	GOOD	3"	PRIVATE	INVASIVE
6	DEMO	TREE OF HEAVEN	GOOD	8"	PRIVATE	INVASIVE
7	DEMO	SIBERIAN ELM	GOOD	1"	PRIVATE	INVASIVE
8	DEMO	SYCAMORE	POOR	2"	PRIVATE	GROWING IN FENCE
9	DEMO	SIBERIAN ELM	GOOD	1"	PRIVATE	INVASIVE
10	PROTECT	HONEY LOCUST	FAIR	6"	PRIVATE	OFF SITE
11	PROTECT	HONEY LOCUST	FAIR	14"	PRIVATE	OFF SITE
12	PROTECT	HONEY LOCUST	FAIR	9"	PRIVATE	OFF SITE
13	PROTECT	HONEY LOCUST	FAIR	15"	PRIVATE	OFF SITE
14	PROTECT	HONEY LOCUST	FAIR	7"	PRIVATE	OFF SITE
15	DEMO	SIBERIAN ELM	GOOD	3"	PRIVATE	INVASIVE
16	DEMO	TREE OF HEAVEN	GOOD	5"	PRIVATE	INVASIVE

TOTAL TREES: 16
TOTAL DBH PRESERVED: 51
TOTAL DBH REMOVED: 33



PROJECT: 750 RDWD
SALT LAKE CITY, UT

DATE: 6.6.2021

PROJECT: COM-20.39

REVIEWED: JDR

REVISIONS:

TITLE:

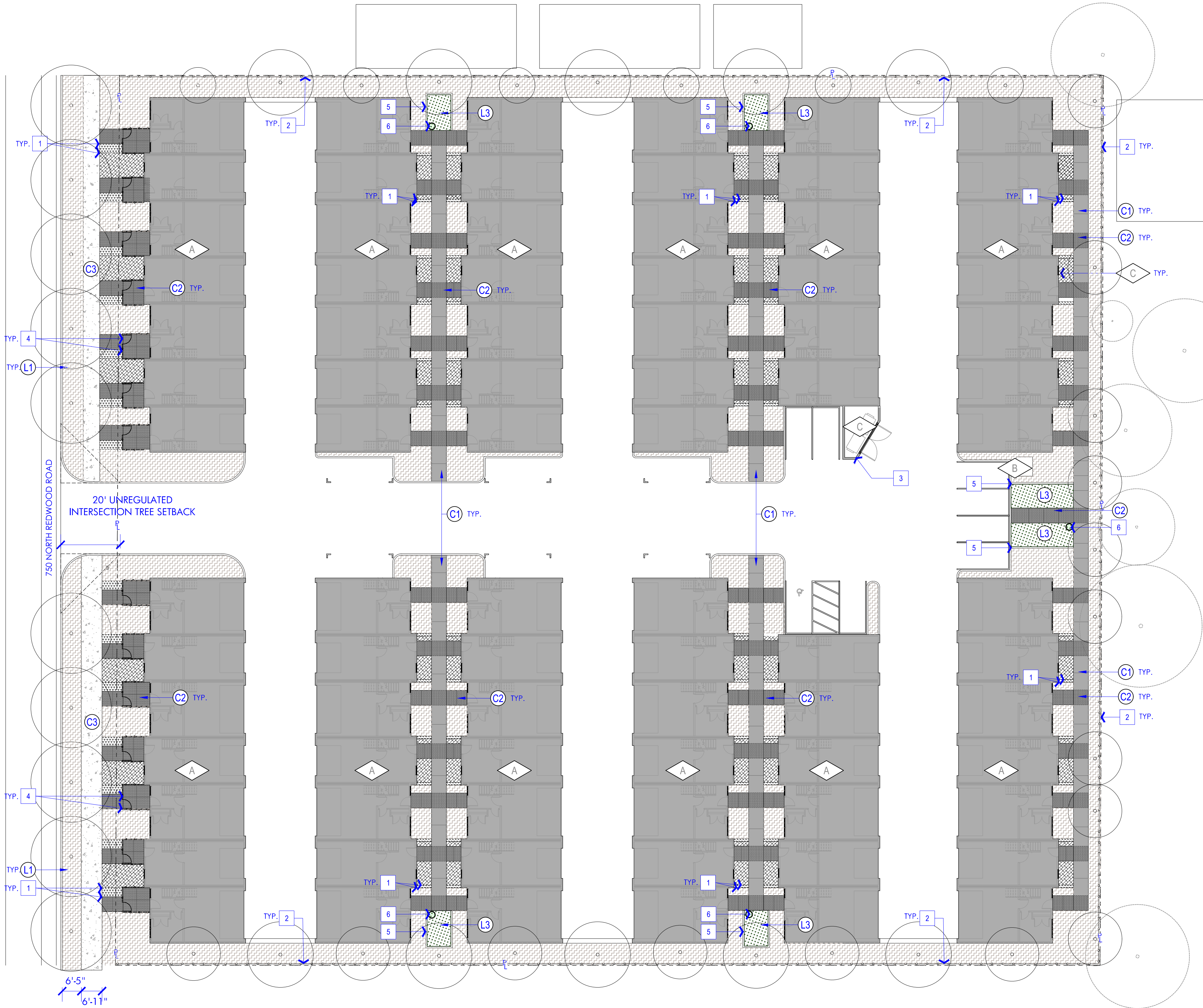
EXISTING CONDITIONS

SHEET:

L0-01

NOT FOR CONSTRUCTION

LANDFORM DESIGN GROUP



LANDSCAPE AREAS - SURFACING MATERIALS		AREA
HATCH	DESCRIPTION	SQUARE FT.
	CONCRETE PAVING - NATURAL GRAY / LIGHT ETCH FINISH	2,595
	CONCRETE PAVING - OPTIONAL COLOR T.B.D. / LIGHT ETCH FINISH	4,760
	PUBLIC R.O.W. SIDEWALK	NA
	DECORATIVE ROCK MULCH: 3" DEPTH OF BLACK LAVA ROCK 1" MINUS INSTALL WITH WEED BARRIER (NO PLANTING)	580
	DECORATIVE ROCK MULCH: 3" DEPTH OF WASATCH GOLD 1" MINUS INSTALL WITH WEED BARRIER (PLANTING AREA)	2,135
	LANDSCAPE MULCH: 4" DEPTH OF SHREDDED BLACK BARK MULCH INSTALL WITH WEED BARRIER (PLANTING AREA)	13,275
	SODDED TURF	720

*INSTALL ALL ROCK MULCH LEVEL WITH A MAXIMUM TOLERANCE OF 1/2" ABOVE ADJACENT PAVING, EDGING, AND PLANTER AREAS.
*AREAS OF TAKEOFFS OF ENTIRE PLANTING AREA - CONTRACTOR TO ACCOUNT FOR REDUCTION IN MULCH NEEDS DUE TO PLANTING - REFER TO PLANTING PLANS.
*QUANTITIES TO BE VERIFIED BY CONTRACTOR

KEYNOTES		
TAG	DESCRIPTION	DETAIL
	STEEL EDGING IN BLACK - 1/4"x6" DEPTH. J.D. RUSSELL "DURAEDGE" OR EQUAL	1/L1-02
	6" VINYL PERIMETER FENCING - WHITE FINISH	2/L1-02
	6" MASONRY TRASH ENCLOSURE - FINISH TO BE HONED IN CHARCOAL COLOR	4/L1-02
	3' HEIGHT - HORIZONTAL CEDAR PATIO GATE GATE & FENCE	6/L1-02
	6" CONCRETE MOW CURB - NATURAL GRAY	5/L1-02
	DOGIE POT PET CLEANUP STATION	CUT SHEET A/L1-02

SITE ITEMS	
TAG	DESCRIPTION
	PROPOSED STRUCTURE - SEE ARCHITECTURAL SITE PLAN
	UTILITIES - SEE CIVIL PLAN
	TRASH & REFUSE AREA - SEE ARCHITECTURAL SITE PLAN

- LANDSCAPE GENERAL NOTES
REGULATIONS:
- ALL IMPROVEMENTS SHALL CONFORM TO THE GOVERNING (SALT LAKE CITY) STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL CALL BLUE STAKES OF UTAH TO VERIFY AND NOTE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR FINAL LOCATION OF ALL UTILITIES. CONTRACTOR IS LIABLE FOR DAMAGES TO EXISTING INFRASTRUCTURE AND NEW IMPROVEMENTS.
- EXISTING CONDITIONS:
- CONTRACTOR SHALL VERIFY ALL PLANS WITH EXISTING CONDITIONS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES, CHANGES, OR ISSUES TO THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
 - ALL UTILITIES ARE SHOWN FOR REFERENCE ONLY. CIVIL PLANS SHALL TAKE PRECEDENCE AND IT IS THE RESPONSIBILITY AND LIABILITY OF THE ACTING CONTRACTOR TO PROTECT AND REPAIR ANY DAMAGES TO UTILITIES.
- SITE PREPARATION:
- ALL LANDSCAPE AREAS TO HAVE WEEDS REMOVE AND GRUBBED WITH ALL DEBRIS MEASURING OVER 2" REMOVED.
 - APPLY, AS NEEDED, CERTIFIED APPLICATIONS OF HERBICIDE.
 - POSITIVE DRAINAGE IS TO BE MAINTAINED AWAY FROM ALL STRUCTURES.
 - ENGINEERING PLANS SHALL TAKE PRECEDENCE
- SOIL
- MINIMUM OF 12" OF TOPSOIL IS REQUIRED IN ALL PLANTING AREAS.
 - MINIMUM OF 4" OF TOPSOIL IS REQUIRED IN ALL TURF PLANTING AREAS.
 - PLANTING HOLES SHALL BE DUG 2X AS WIDE AS ROOTBALL OF VEGETATION.
 - BACKFILL FOR SHRUB AND TREE PLANTINGS SHALL BE 80% TOPSOIL/ 20% HUMUS MATERIAL.
 - SOILS REPORT SHALL TAKE PRECEDENCE
- TOPSOIL STANDARDS
 - SAND - 20%-70%
 - CLAY - 20%-70%
 - #10 SIEVE @ 15% MAXIMUM
 - PH 6 TO 8.5

NOT FOR CONSTRUCTION

LANDFORM DESIGN GROUP

PROJECT: 750 RDWD

SALT LAKE CITY, UT

DATE: 6.6.2021
PROJECT: COM-20.39
REVIEWED: JDR

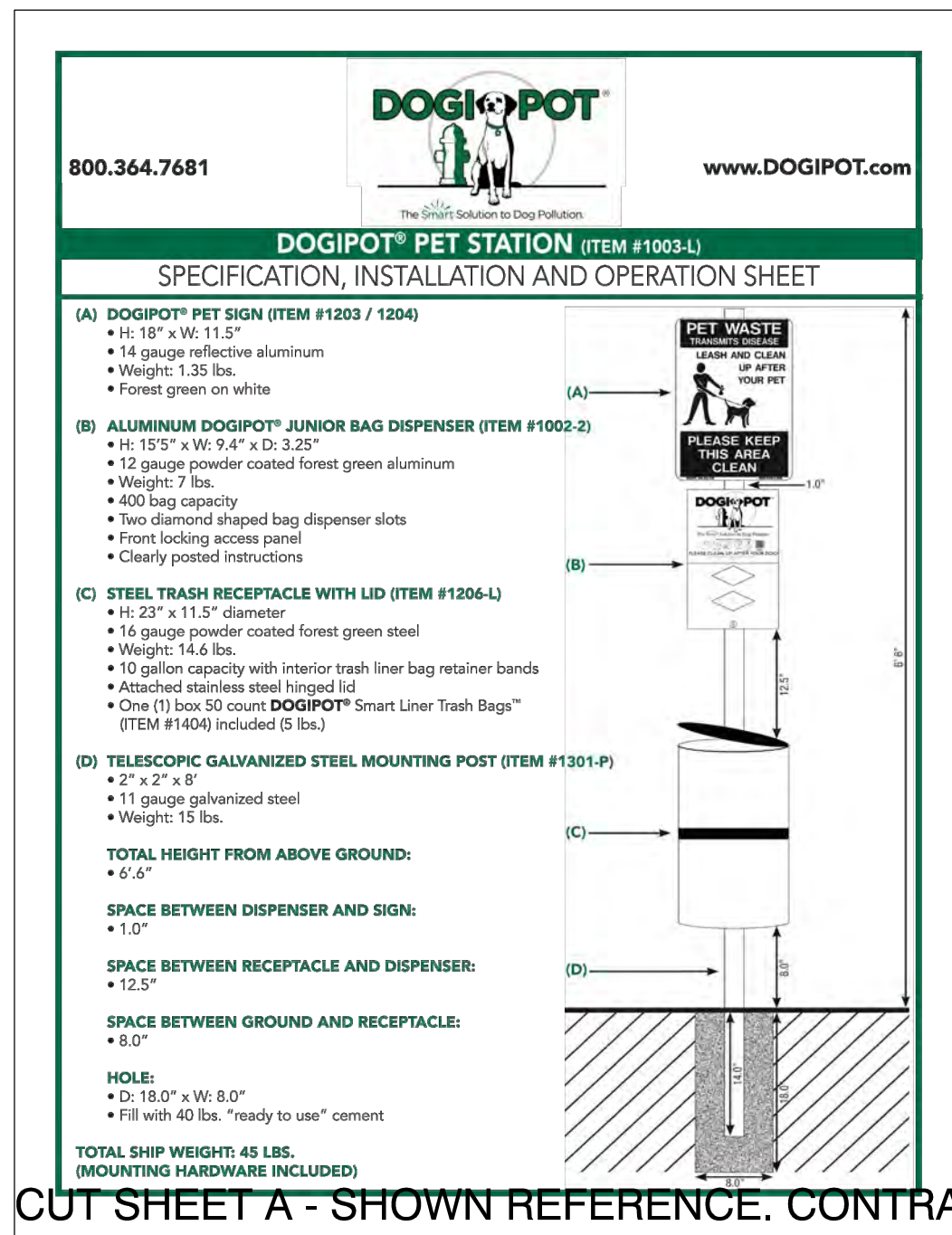
REVISIONS:

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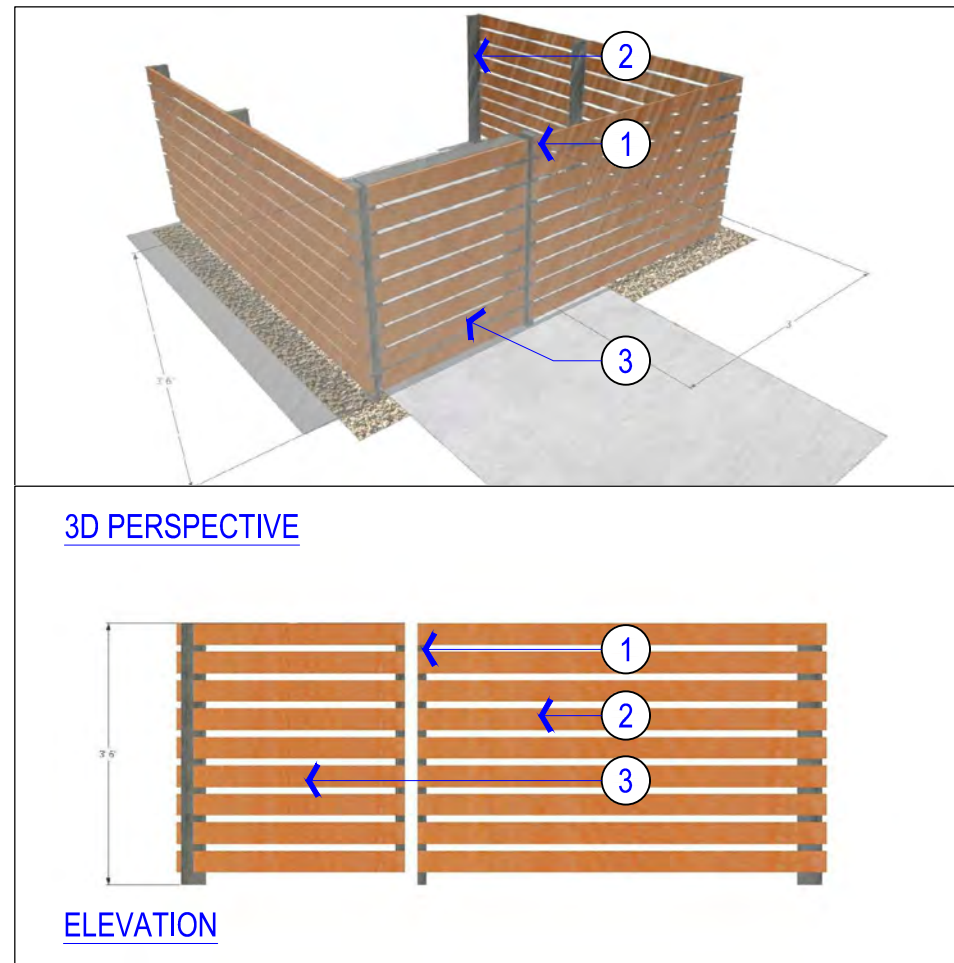
LANDSCAPE
SITE PLAN

SHEET:

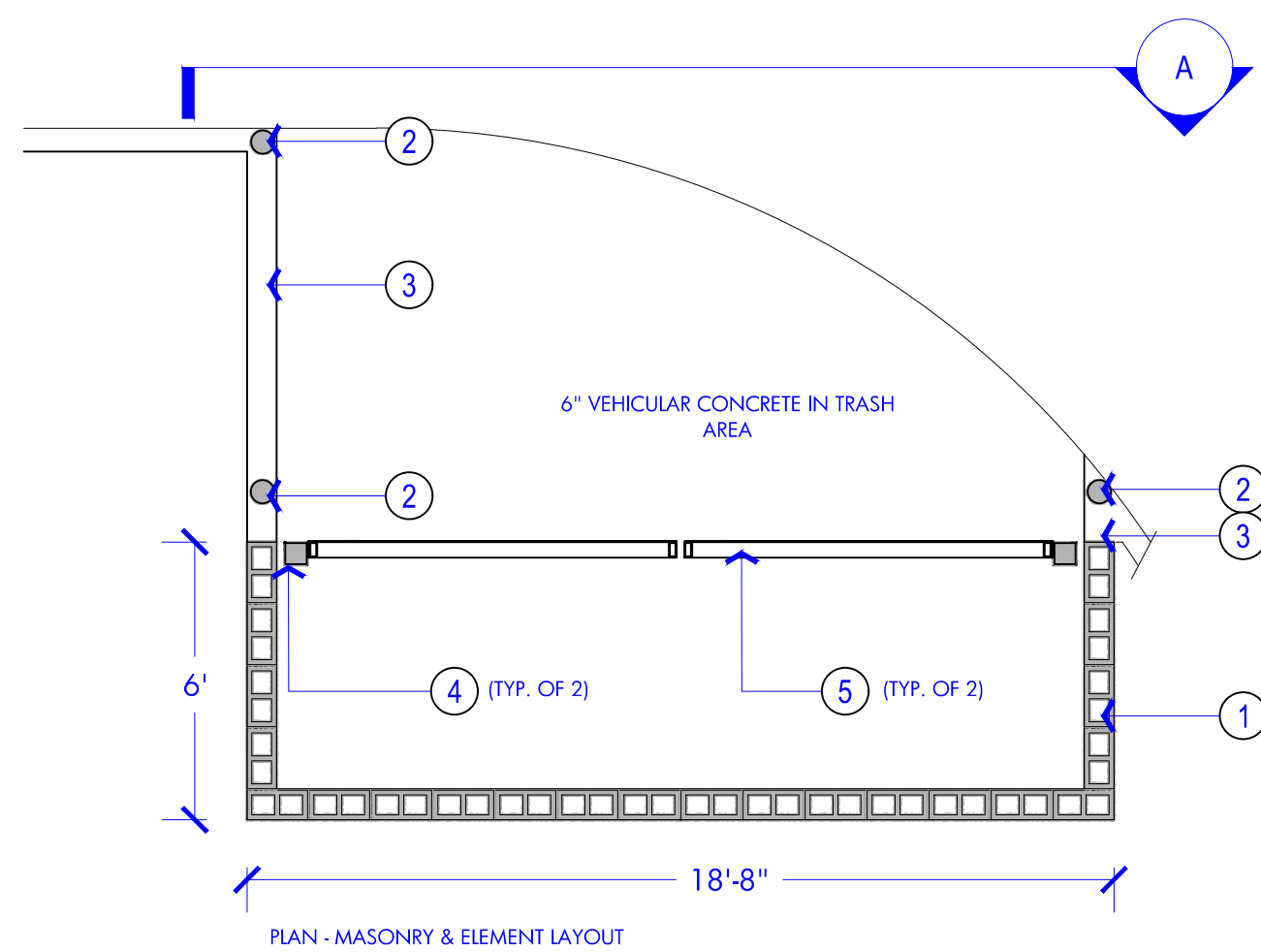
L1-01



CUT SHEET A - SHOWN REFERENCE. CONTRACTOR TO VERIFY



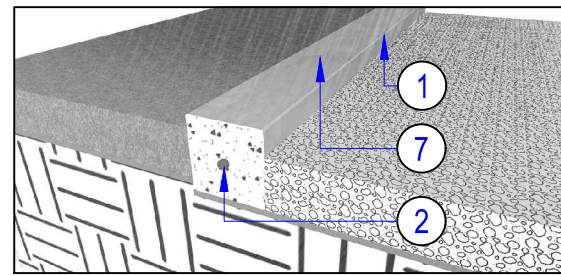
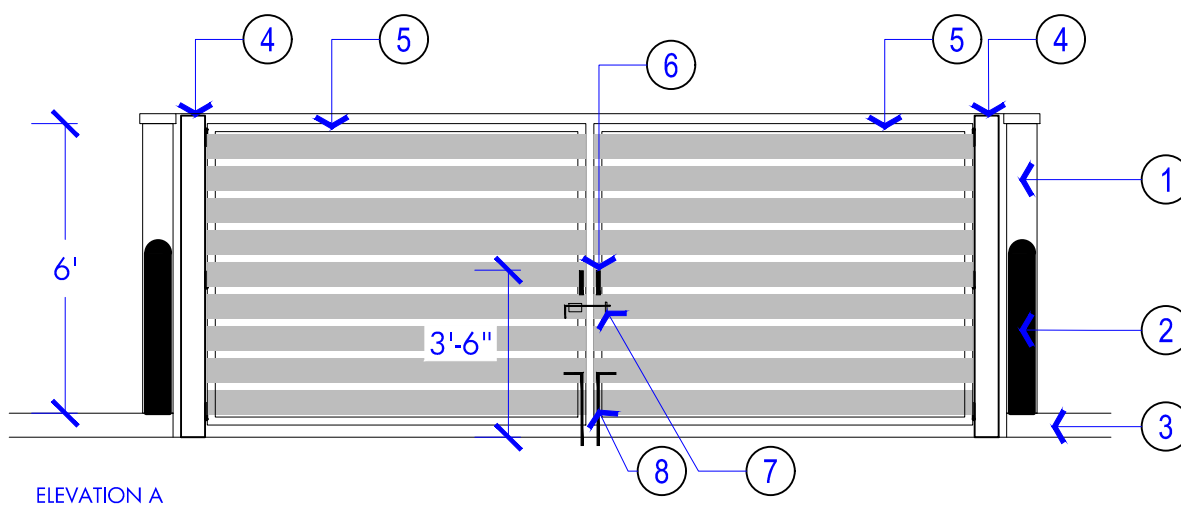
06 CEDAR PATIO GATE -TYPICAL INSTALLATION



04 TRASH ENCLOSURE

1/4" = 1'-0"

- LEGEND**
1. MASONRY WALL - SEE DETAIL 3/L1-02
 2. BOLLARD - 6" DIA. x42"H - PAINT YELLOW
 3. 6" CONCRETE CURB
 4. 6x6 METAL GATE POST - SET HEIGHT EQUAL TO MASONRY WALL
 5. GATE:
 - 5.1. 2x4 TUBE STEEL METAL FRAME
 - 5.2. (3) HEAVY DUTY HINGES PER GATE
 - 5.3. 2x6 DECORATIVE METAL PANELS - 2" MAX. GAPS
 6. 6" PULL HANDLE ON SMOOTH BACKPLATE
 7. CANE STYLE MANUAL GATE LATCH ON SMOOTH BACKPLATE
 8. 18" GATE CANE BOLTS - ADD CONCRETE SLEEVES TO RECEIVE BOLTS
- NOTES**
- ALL METAL ELEMENTS TO BE PAINTED CHARCOAL COLOR APPROPRIATE FOR EXTERIOR APPLICATIONS
 - ALL TUBE METAL TO HAVE WELDS GROUND SMOOTH AND CAP ALL EXPOSED ENDS
 - CONTRACTOR TO SIZE AND/OR ADD STRUCTURAL ELEMENTS AS NEEDED

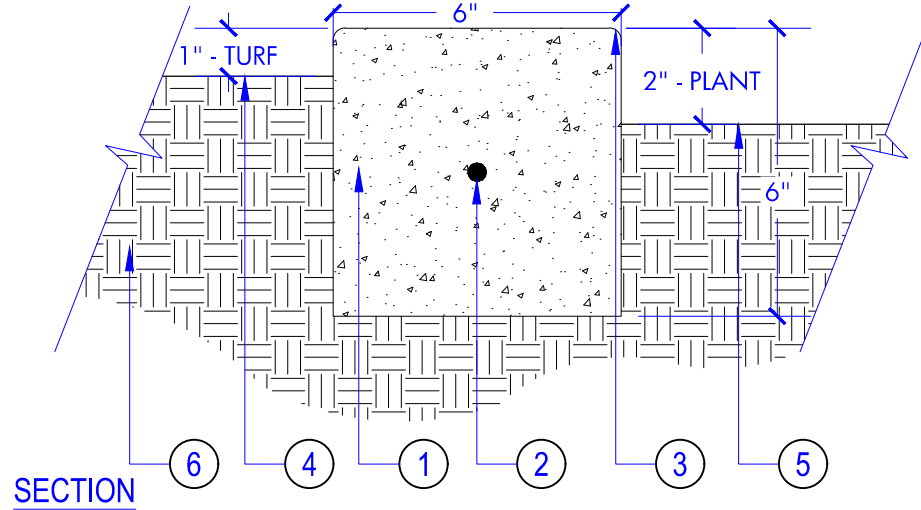


ISOMETRIC SECTION (N.T.S.)

- LEGEND**
1. POURED-IN-PLACE CONCRETE - EXTRUDED CONCRETE SYSTEM NOT ACCEPTABLE
 2. #3 REBAR CONTINUOUS WITH 12" LAPS
 3. 1/4" RADIUS EDGE
 4. FINISHED SURFACE IN TURF CONDITIONS
 5. FINISHED SURFACE IN PLANTING CONDITIONS
 6. 95% COMPACTED SUBGRADE
 7. 1/8" SCORE @ 5" O.C. MAX.

NOTES

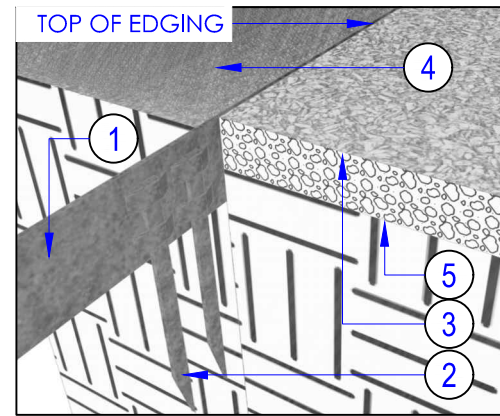
A. GEOTECHNICAL REPORTS, STRUCTURAL ENGINEERING, AND SOIL REPORTS SHALL TAKE PRECEDENCE OVER THIS DETAIL



05 6" MOW CURB

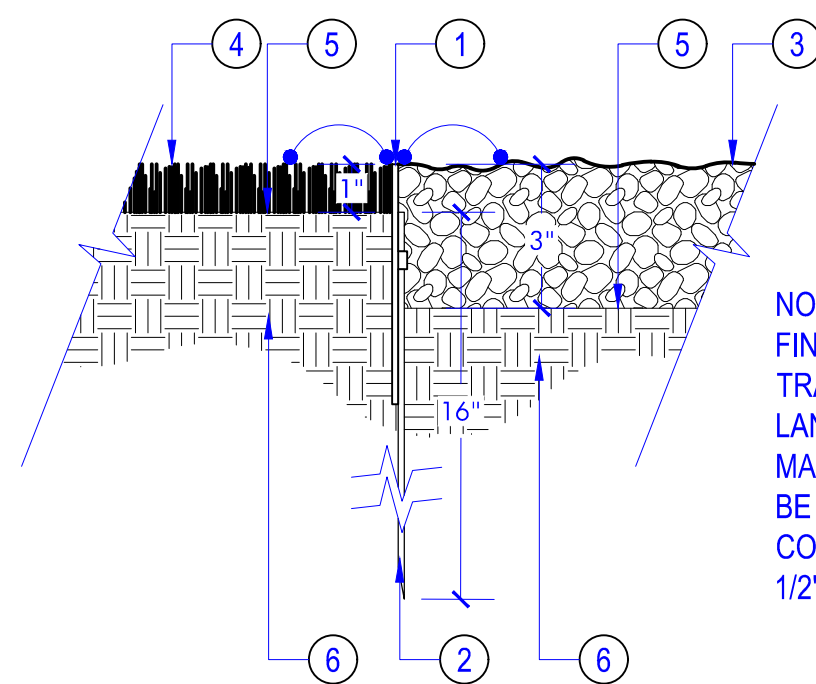
3" = 1'-0"

DETAIL-FILE



ISOMETRIC SECTION (N.T.S.)

- LEGEND**
1. STEEL EDGING PER CONSTRUCTION SCHEDULE - INSTALL PER MANUFACTURER'S RECOMMENDATIONS
 2. STEEL STAKES PER MANUFACTURER'S RECOMMENDATIONS
 3. ADJACENT MULCH/PLANTING AREA
 4. ADJACENT TURF AREA
 5. FINISHED GRADE
 6. COMPACTED SUBGRADE



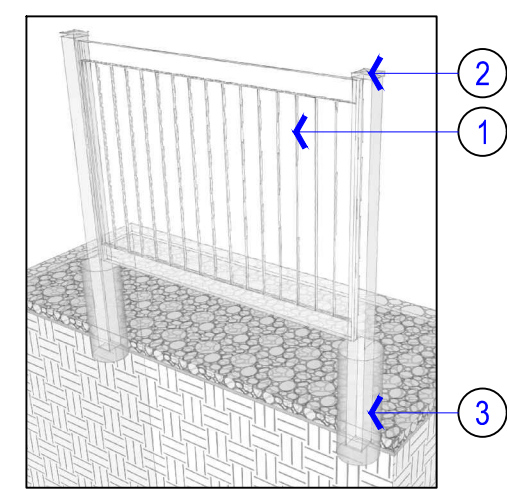
NOTES

FINISHED GRADE TRANSITIONS FROM LANDSCAPE MATERIALS SHALL BE FLUSH AND CONSISTENT WITHIN 1/2" TOLERANCE

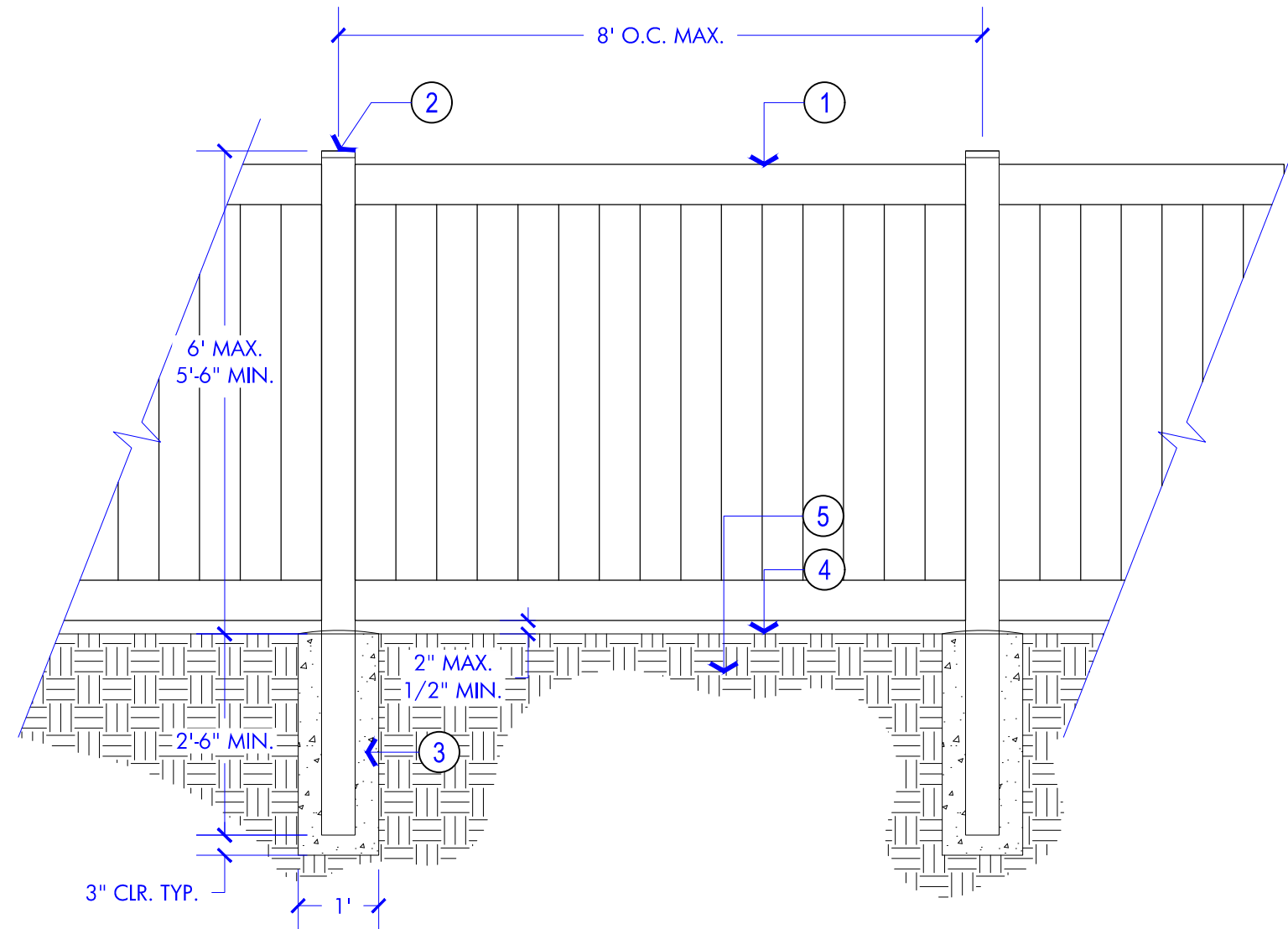
01 STEEL EDGING

3" = 1'-0"

DETAIL-FILE



3D PERSPECTIVE



- LEGEND**
1. 6x8 WHITE VINYL FENCE KIT
 - 1.1. TOP RAIL: 1-1/2"x5-1/2"
 - 1.2. BOT. RAIL: 1-1/2"x5-1/2"
 - 1.3. BOT. RAIL REINFORCEMENT PICKETS: 5/8" T&G PANNEL
 2. 5"x5" POST - INSTALL WITH LOW PROFILE MATCHING CAPS. MIN. 30" EMBEDMENT IN CONCRETE FOOTING
 3. CONCRETE FOOTING - 12" DIAMETER x MIN. 30" DEPTH
 4. FINISHED GRADE
 5. COMPACTED SUBGRADE

NOTES

A. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. THIS DETAIL IS PER TYPICAL INSTALLATIONS

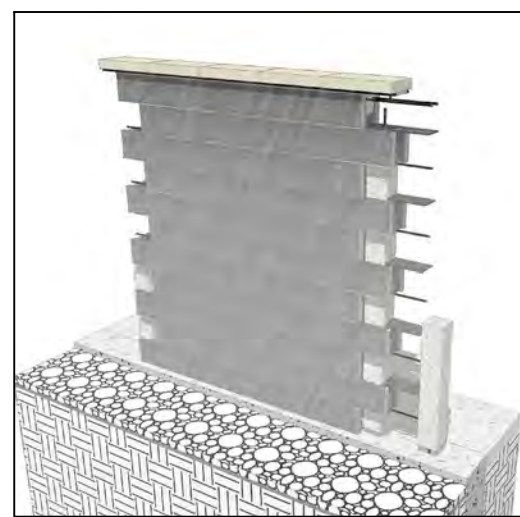
B. CONTRACTOR TO INSTALL LINE POSTS, CORNER POSTS, AND END/GATE POSTS TO ENSURE DESIGN LAYOUT IS FOLLOWED

02 VINYL FENCING -TYPICAL INSTALLATION

1/2" = 1'-0"

DETAIL-FILE

DETAIL-FILE



WALL PERSPECTIVE



STRUCTURAL PERSPECTIVE

03 6' MASONRY WALL - TYPICAL

1/2" = 1'-0"

- LEGEND**
1. PRECAST CAP TO MATCH COLOR OF BLOCK
 2. CMU BLOCK (TYP. 8x8x16)
 - 2.1. VERTICAL REBAR: #5 @ 32" O.C. // 30" LAP
 - 2.2. HORIZONTAL REBAR: #5 @ 24" O.C. // 24" LAP (2) #4 CONT. @ TOP // 24" LAP
 3. TRENCH CONCRETE FOOTING
 - 3.1. VERTICAL REBAR: #5 @ 24" O.C. // 30" LAP // 90° BEND
 - 3.2. HORIZONTAL REBAR: (2) #5 CONT. @ BOT // 24" LAP
 4. JOINT REINFORCEMENT
 5. ISOLATION JOINT @ HORIZONTAL CONCRETE SURFACES
 6. 90% MINIMUM COMPACTED GRADE

NOTES

A. GEOTECHNICAL REPORTS, STRUCTURAL ENGINEERING, AND SOIL REPORTS SHALL TAKE PRECEDENCE OVER THIS DETAIL

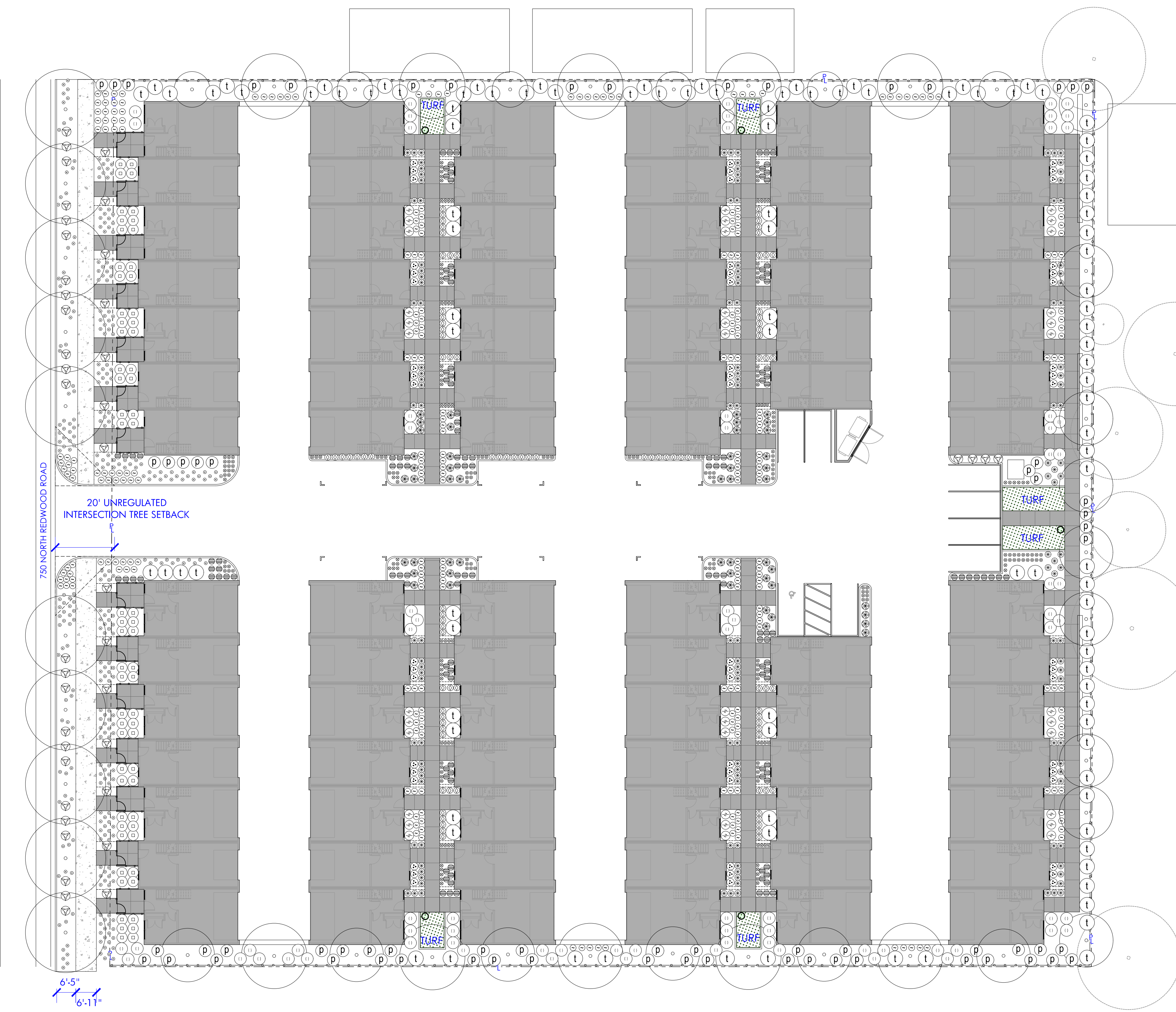
B. REBAR SHALL BE CENTERED IN BLOCK

C. CONCRETE BLOCK TO BE IN RUNNING BOND

D. ALL BLOCKS WITH VERTICAL REBAR TO BE GROUTED SOLID

E. PROVIDE CONTROL JOINTS MAXIMUM 15' O.C.

F. 3/8" MORTAR JOINTS



PLANTING MATERIALS - 750 REDWOOD ROAD

SHRUBS, GROUNDCOVERS, GRASSES							
QTY	SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HYDROZONE	HxW	NOTES
54	⊙	3 GAL.	BERBERIS THUMBERGII 'CRIMSON PYGMY'	PYGMY JAP. BARBERRY	SD3	2'x3'	
298	•	1 GAL.	BOUTELOUA GRACILIS	BLUE GAMA GRASS	TW0	1'x1'	
90	⊙	1 GAL.	CALAMAGROSTIS ACUTIFLORA 'OVERDAM'	OVERDAM REEDGRASS	TW2	3'x2'	
132	⊙	1 GAL.	CALAMAGROSTIS ARUNDINACEAE VAR BRACHYTRICHA 'CASPIAN'	KOREAN FEATHER REED GRASS	*LOW	2'x2'	
134	⊙	3 GAL.	EUONYMUS FORTUNEI 'MOONSHINE'	WINTERCREEPER	GV4	2'x1.5'	EVERGREEN
225	•	1 GAL.	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	P3	2'x1.5'	
49	⊙	1 GAL.	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	TW2	2.5'x2.5'	
66	⊙	5 GAL.	PINUS MUGO VAR. MUGO	DWARF MUGO PINE	SE2	4'x4'	EVERGREEN
58	⊙	3 GAL.	POTENTILLA FRUTICOSA 'JACKMANII'	JACKMAN POTENTILLA	TD2	3'x3'	
259	⊙	1 GAL.	SALVIA NEMOROSA 'SENSATION ROSE'	SENSATION ROSE SAGE	P2	2'x2'	
64	⊙	3 GAL.	SPIRAEA X GOLDFLAME	GOLDFLAME SPIRAEA	SD3	3.5'x3.5'	
74	⊙	3 GAL.	PHYSOCARPUS OPULIFOLIUS 'NUGGET'	GOLD NINEBARK	SD4	4'x4'	
109	⊙	5 GAL.	TAXUS MEDIA 'DENSIFORMIS'	HICKS YEW	SE3	3'x5'	EVERGREEN
21	⊙	3 GAL.	YUCCA FILAMENTOSA	ADAM'S NEEDLE	SE0	3.5'x3'	EVERGREEN

LANDSCAPE PLANTING NOTES

- ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT PLANTING PROCEDURES ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN
- CONTRACTOR IS RESPONSIBLE TO FURNISH PLANT MATERIAL THAT IS PEST AND DISEASE FREE AND TO MAINTAIN AND WARRANTY PLANT MATERIAL THROUGHOUT CONSTRUCTION AND MAINTENANCE
- CONTRACTOR TO WARRANTY PLANT MATERIAL PER WARRANTY SPECIFICATIONS, TYPICALLY FOR A (1) YEAR PERIOD OF TIME
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING QUANTITIES AND FURNISHING ALL PLANT MATERIALS TO ENSURE INTENDED COVERAGE. CONTRACTOR SHALL CONTACT OWNER AND/OR LANDSCAPE ARCHITECT FOR APPROVAL OF CHANGES IN QUANTITIES OR SPECIES
- DEPENDING ON PLANT AVAILABILITY, CONTRACTOR SHOULD ATTEMPT TO FIND PLANT MATERIAL OF LIKE KIND THAT IS APPROXIMATELY THE SAME HEIGHT AND GROWTH HABIT, HOWEVER, ALL VARIETIES SHALL MATCH EACH OTHER WHEN INSTALLED I.E. NO PARTIAL PLANTING SUBSTITUTIONS. IF A NEW VARIETY IS APPROVED, THE SAME PLANT VARIETY SHALL BE USED THROUGHOUT THE ENTIRETY OF THE PROJECT SCOPE
- DOUBLE STAKE ALL TREES UNDER 2" CALIPER UNTIL MATURITY
- ALL SHRUBS AND TREES TO CONTAINER GROWN OR BE BALLED AND BURLAPPED
- TREES SHALL NOT BE PLANTED LESS THAN 4'-0" FROM CURBS OR HARD SURFACE AREAS UNLESS A ROOT BARRIER IS INSTALLED NEXT TO HARDSCAPED SURFACE.
- ALL PLANTING SHALL ACCOUNT FOR SPOILS TO PROVIDE A SMOOTH TRANSITION
- INSTALL COMMERCIAL GRADE WEED BARRIER FABRIC TO ALL PLANTING AREAS AND PLANTER BEDS WITH 6" LANDSCAPE STAPLES PER INDUSTRY STANDARDS. NO WEED BARRIER TO BE VISIBLE
- ALL PLANT MATERIALS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY ASSOCIATION, INC.
- FERTILIZE ALL SHRUBS AND TREES WITH FERTILIZER TABLETS

CITY OF SALT LAKE LANDSCAPE CALCULATIONS:

ZONE: CB

SITE LANDSCAPE AREAS:

TOTAL SITE : 98,710 S.F. (100%)

REQUIRED LANDSCAPE AREA: 14,807 S.F. (15%)

PROVIDED LANDSCAPE AREA: 16,710 S.F. (16.93%)

TOTAL TURF AREA: 710 S.F. (00.72%)

TREES REQUIRED: 1/30 L.F. (925 L.F. OF BUFFER)

TREES PROVIDED: 31

BUFFER SHRUBS PROVIDED: 206 SHRUBS

ROW TREES REQUIRED - REDWOOD ROAD: 298' L.F. / TREE EVERY 30' AVG. =

REQUIRED: 9.93 TREES

PROVIDED: 10 TREES

WATER WISE PLANTS FOR SALT LAKE CITY

DROUGHT TOLERANT SHRUBS

REQUIRED: 80% (OF 1,633)

PROVIDED: 91% (1501/1633)

DROUGHT TOLERANT TREES

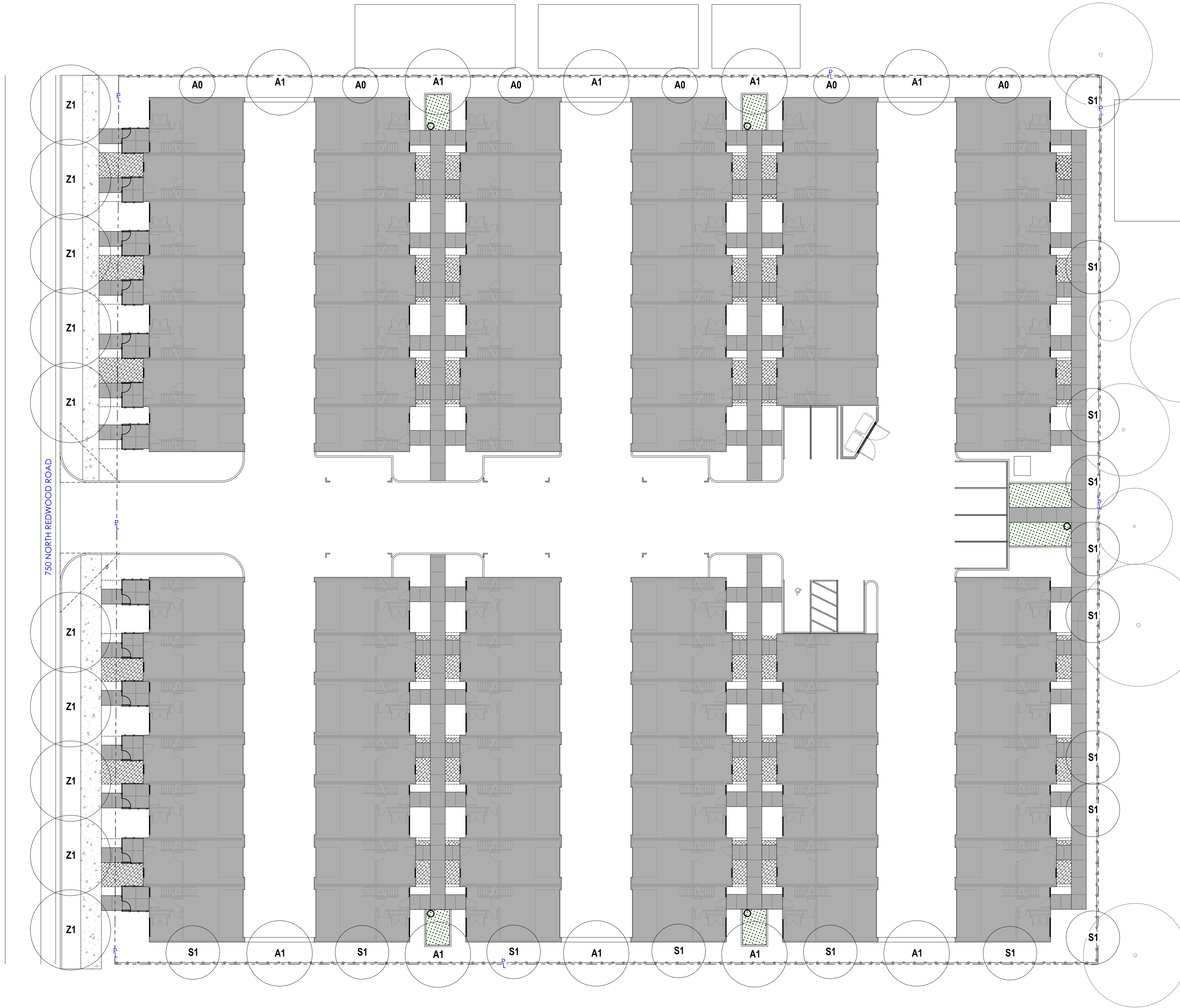
REQUIRED: 100%

PROVIDED: 100% (41/41)

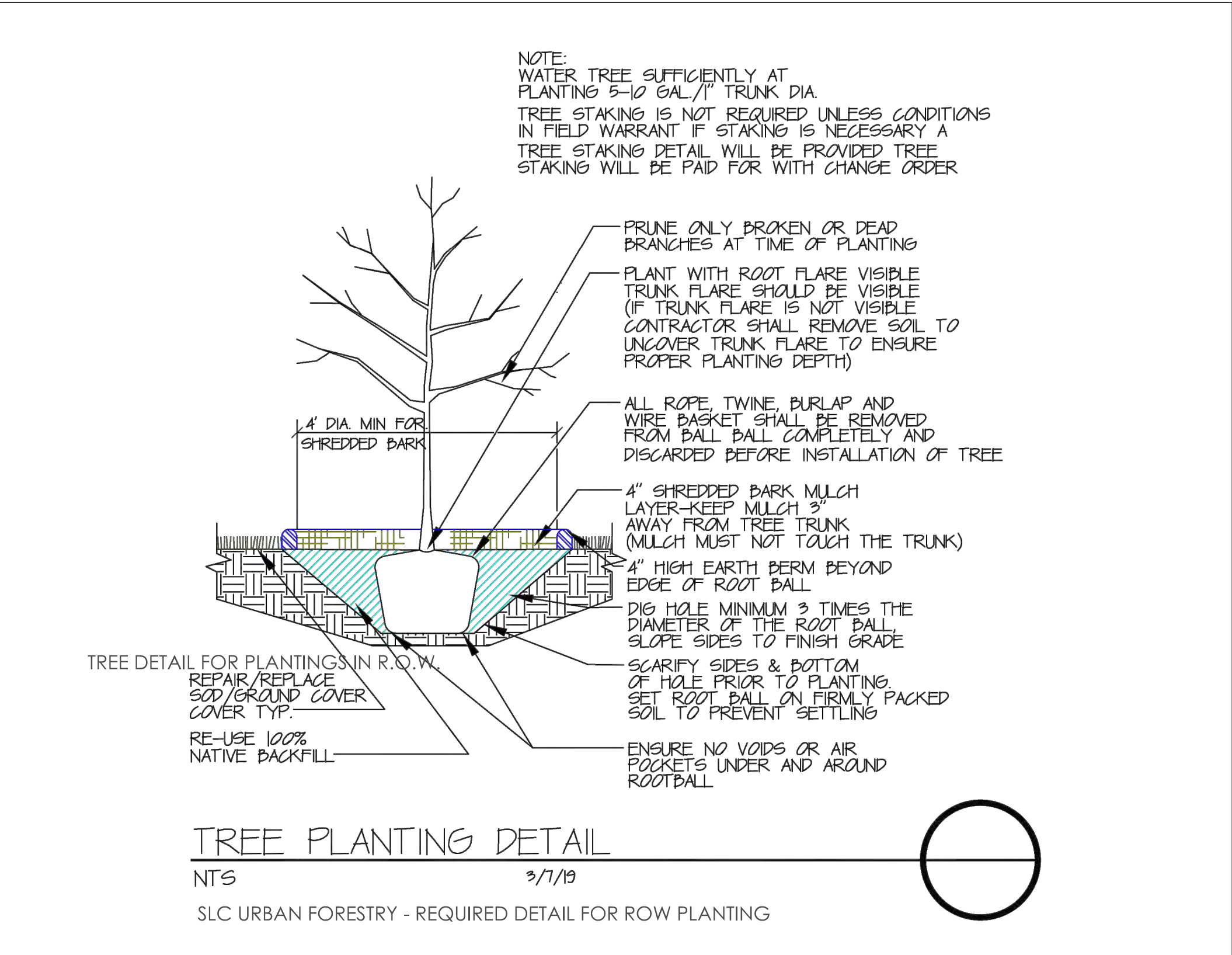
PARKWAY PLANTING - URBAN FORESTER REQUIREMENTS

ALL TREES IN PUBLIC R.O.W. TO BE 2" CALIPER - LOCATED:

- 5' from water meter and/or utility box
- 10' from fire hydrant
- 5-10' from residential driveway
- 5-10' from property line of adjoining parcel
- 5-10' from non-traffic conducting signage
- 5-10' from utility pole and/or light
- 20' from an unregulated intersection (20' back from intersecting sidewalks)
- 30' from stop signs
- 30' from commercial driveway and/or alley
- 40' from an intersection with traffic lights (40' back from intersecting sidewalks)
- 20-30' from a tree that is medium in size at maturity (30 to 50' tall)



PLANTING MATERIALS - 750 REDWOOD ROAD							
TREES							
QTY	SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	HYDROZONE	HxW	NOTES
NA	-	NA	EXISTING NEIGHBORING TREE - DO NOT DAMAGE				
6	A0	1.5" CAL.	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLANCE'	AUTUMN SERVICEBERRY	TD4	20'x15'	SHADE/BUFFER
10	Z1	2" CAL.	ZELKOVA SERRATA 'WIRELESS'	WIRELESS ZELKOVA	TD4	20'x30'	STREET TREE
10	A1	1.5" CAL.	ACER CAMPESTRE	HEDGE MAPLE	TD3	20'x30'	SHADE/BUFFER
15	S1	1.5" CAL.	SYRINGA RETICULATA 'IVORY SILK'	JAPANESE TREE LILAC	TD3	25'x20'	SHADE/BUFFER



750 RDWD

PRELIMINARY DRAWINGS

LOCATED IN THE SOUTHWEST AND SOUTHEAST QUARTERS OF SECTION 27,
TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
SALT LAKE CITY, UTAH



WILDING
ENGINEERING

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

DRAWING NOTES:

GENERAL NOTES

- THE CONTRACTOR SHALL, CONSTRUCT ACCORDING TO THE FOLLOWING, AS APPLICABLE, UNLESS STANDARDS HAVE BEEN WAIVED OR MODIFIED IN WRITING:
-SALT LAKE CITY DESIGN STANDARDS-CONSTRUCTION SPECIFICATIONS AND STANDARD DRAWINGS-LATEST EDITION
-UNIFORM FIRE CODE (LATEST EDITION)
-UNIFORM BUILDING CODE (LATEST EDITION)
- THE TERM CONTRACTOR SHALL MEAN ALL CONTRACTORS, SUBCONTRACTORS, AND ALL FOLLOW ON CONTRACTORS. REQUIREMENTS FOR ONE SHALL APPLY TO ALL.
- ADDITIONAL NOTES THAT ARE SHOWN ON DESIGN OR DETAIL DRAWINGS ARE TO BE ADHERED TO IN THEIR ENTIRETY.
- THE CONTRACTOR SHALL NOTIFY ALL OWNERS OF UTILITIES INCLUDING, BUT NOT LIMITED TO, WATER, SANITARY SEWER, TELEPHONE, ELECTRICAL, NATURAL GAS AND CABLE TELEVISION, OF PROPOSED CONSTRUCTION WITHIN THE UTILITY'S AREA OF RESPONSIBILITY. THE CONTRACTOR IS RESPONSIBLE FOR MEETING WITH AND COORDINATING HIS CONSTRUCTION ACTIVITIES WITH THOSE OF THE UTILITY COMPANIES INVOLVED AND TO FIELD LOCATE ALL EXISTING UTILITIES WITHIN THE AREA OF OPERATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

ROADWAY NOTES

- ALL UTILITY TRENCHING SHALL BE PER SLCPU STANDARD PRACTICE NO. 1.
- PRIOR TO WORKING IN THE PUBLIC WAY, A LICENSED, INSURED, AND BONDED CONTRACTOR, WHO HAS SAID INFORMATION ON FILE WITH SLC ENGINEERING, MUST OBTAIN A PUBLIC WAY PERMIT FROM SLC ENGINEERING AND PERHAPS A TRANSPORTATION PERMIT. ALL WORK IN THE PUBLIC WAY SHALL FOLLOW APWA STANDARDS.
- PUBLIC WAY PERMIT AND TRAFFIC CONTROL PERMIT REQUIRED TO TERMINATE/CAP/KILL ANY EXISTING SERVICE IN THE PUBLIC WAY.
- ASPHALT PAVEMENT CUTS IN DIRECTORS ROW TO BE RESTORED PER THE 2012 EDITION OF APWA STD. PLAN 255.

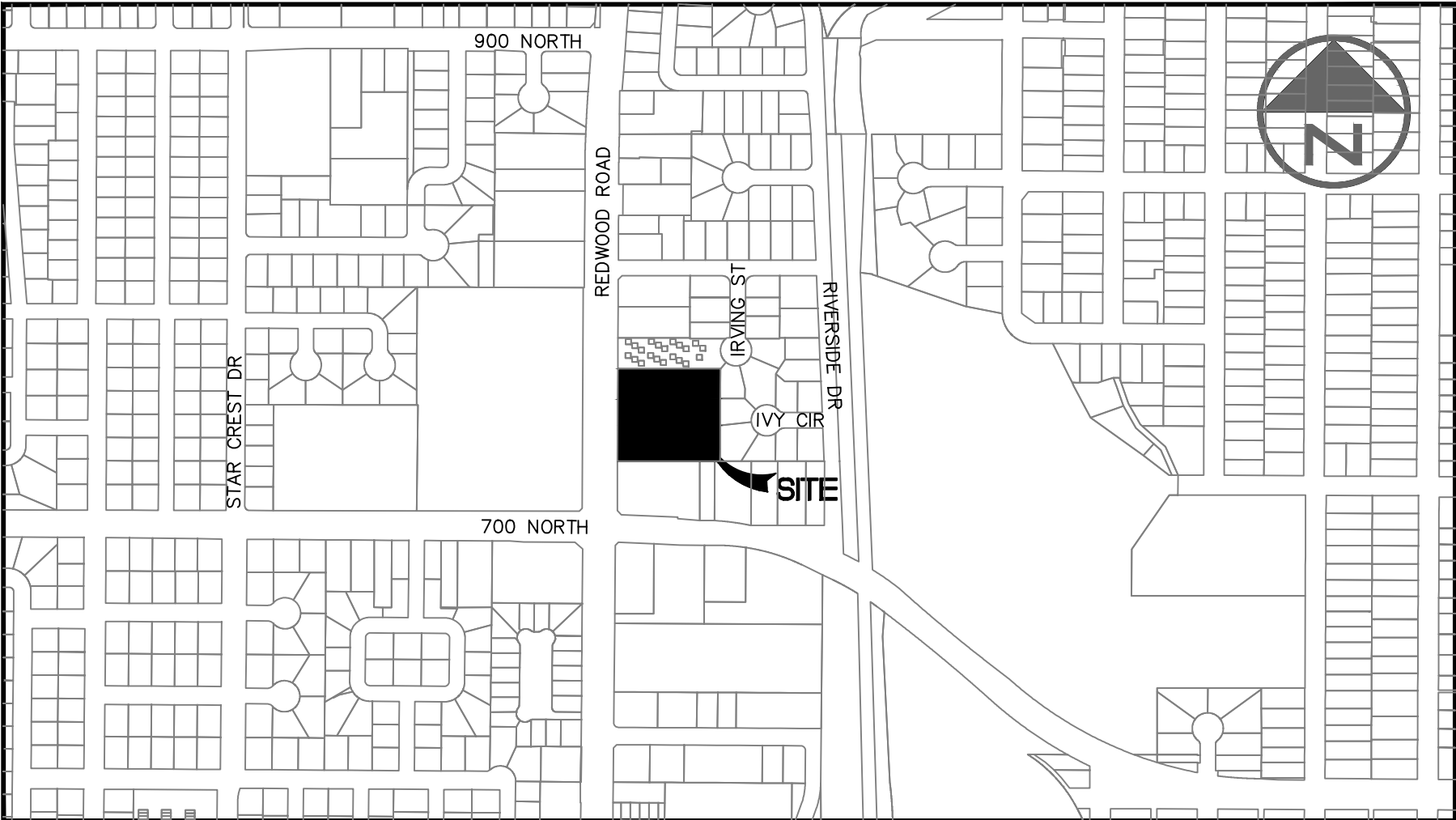
PROJECT BASIS OF BEARING AND BENCHMARK

PROJECT BASIS OF BEARING:
THE PROJECT BASIS OF BEARING IS SOUTH 00°11'42" WEST BETWEEN THE INTERSECTION MONUMENT OF REDWOOD ROAD AT 852 NORTH AND REDWOOD ROAD AT 700 NORTH.

PROJECT BENCHMARK:
THE PROJECT BENCHMARK IS THE RIM OF THE EXISTING STORM DRAIN MANHOLE IN REDWOOD ROAD, NEAR THE NORTHWEST CORNER OF THE PROJECT, HAVING AN ELEVATION OF 4217.97'.

PROJECT TOPOGRAPHY: THE PROJECT WAS DESIGNED WITH CONVENTIONAL TOPOGRAPHY, SURVEYED IN JUNE 2020.

VICINITY MAP



PROJECT OWNER

TBD
TBD
TBD

SHEET INDEX

C101	COVER SHEET
1 OF 1	RECORD OF SURVEY
C201	CIVIL SITE AND MASTER UTILITY PLAN
C202	GRADING AND DRAINAGE PLAN



G:\DATA\20131\Develop\750 N Redwood Road\dwg\20131_750 rdwd site plan.dwg
PLOT DATE: Jun 09, 2021

NO.	REVISION	DATE

PROJECT INFORMATION

750 RDWD

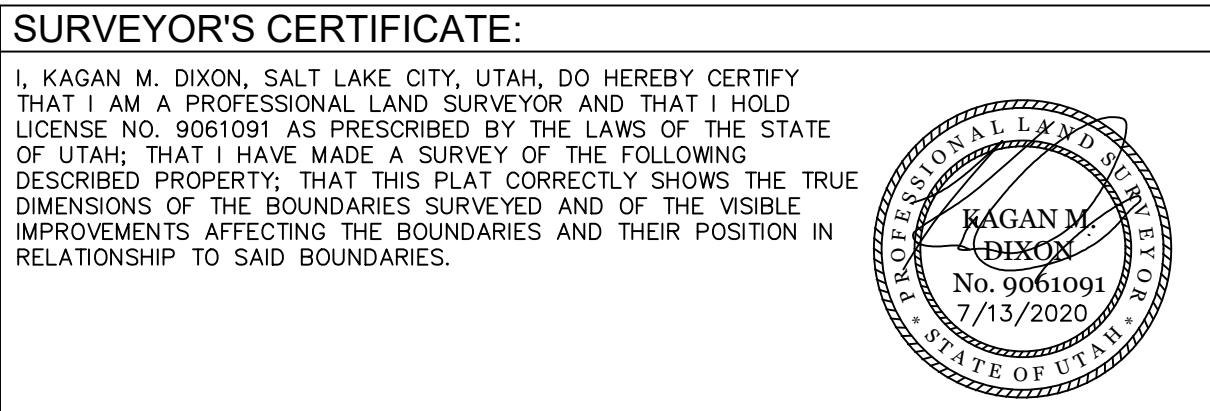
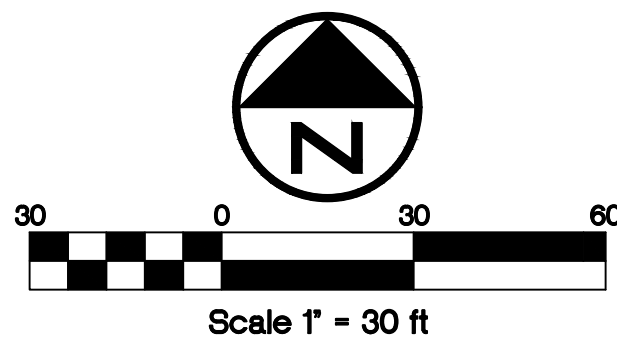
COVER SHEET

750 NORTH REDWOOD RD
SALT LAKE CITY, UTAH

DRAWN MEC	CHECKED	PROJECT # 20131
ENGINEER'S STAMP		DATE 6/9/21
		SCALE NONE
		SHEET C101

COMMUNITY PLAZA, INC PROPERTY

LOCATED IN THE SOUTHWEST AND SOUTHEAST QUARTERS OF SECTION 27,
TOWNSHIP 1 NORTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
RECORD OF SURVEY



BOUNDARY DESCRIPTION

PART OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, DESCRIBED AS FOLLOWS (THE TRUE BASIS OF BEARING FOR THIS SURVEY IS NORTH 00°11'42" EAST 1132.67 FEET AS MEASURED ON THE GROUND BETWEEN THE EXISTING CENTERLINE MONUMENT LOCATED IN REDWOOD ROAD AT 700 NORTH STREET, #8336 WITH RESPECT TO SALT LAKE CITY PUBLIC SERVICES DEPARTMENT RECORD OF SURVEY #1113, AND CENTERLINE MONUMENT #8338 LOCATED IN REDWOOD ROAD BETWEEN 800 AND 900 NORTH STREETS):

BEGINNING AT A POINT ON THE EASTERLY RIGHT OF WAY LINE OF REDWOOD ROAD, SAID POINT BEING NORTH 00°11'39" EAST ALONG THE CENTERLINE OF REDWOOD ROAD 216.07 FEET BASED ON RECORD OF SURVEY #1113 OF THE SALT LAKE CITY ENGINEERING DIVISION AND EAST 52.17 FEET FROM THE BRASS CAP MONUMENT FOUND AT THE INTERSECTION OF 700 NORTH STREET AND REDWOOD ROAD, SAID MONUMENT BEING NORTH 00°11'45" EAST 266.52 FEET AND WEST 94.33 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION 27 AS NOTED IN THAT CERTAIN CORRECTIVE QUAM-CLAIMED CORRECTION RECORDED OCTOBER 10, 2000 IN BOOK 8393, PAGE 2310 AT THE OFFICE OF THE SALT LAKE COUNTY RECORDER, AND RUNNING THENCE NORTH 00°15'03" EAST ALONG THE EASTERLY RIGHT OF WAY LINE OF SAID REDWOOD ROAD BASED ON SAID RECORD OF SURVEY 299.69 FEET (NORTH 297 FEET BY DEED AND NORTH 00°15'08" EAST BY SALT LAKE CITY ATLAS PLAT) TO THE PROLONGATION OF THE SOUTH LINE OF IRVING CIRCLE CONDOMINIUMS, A PLAT RECORDED AT THE OFFICE OF THE SALT LAKE COUNTY RECORDER AND POSITIONED RELATIVE TO THE CENTERLINES OF IRVING STREET, RIVERSIDE DRIVE, IVY CIRCLE STREET, AND 800 NORTH STREET; THENCE SOUTH 89°59'34" EAST ALONG SAID SOUTHERLY LINE, 330.09 FEET (SOUTH 89°59'34" EAST 330.00 FEET BY RECORD FROM SAID CONDOMINIUM PLAT AND EAST 363 FEET BY DEED) TO THE WESTERLY LINE OF WHITEHEAD PLAT "C" SUBDIVISION, A PLAT RECORDED AT THE OFFICE OF THE SALT LAKE COUNTY RECORDER AND POSITIONED RELATIVE TO SAID STREETS AS NOTED FOR IRVING CIRCLE CONDOMINIUMS; THENCE SOUTH 00°15'27" WEST ALONG SAID WESTERLY LINE AND THE PROLONGATION THEREOF 299.61 FEET (SOUTH 297 FEET BY DEED AND SOUTH 00°15'07" WEST ACCORDING TO SAID WHITEHEAD SUBDIVISION PLAT "C") TO THE PROLONGATION OF THE NORTHERLY LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN SAID DEED RECORDED IN BOOK 8393, AT PAGE 2310; AND THENCE WEST TO AND ALONG SAID NORTHERLY LINE 330.06 FEET (WEST 363 FEET BY DEED) TO THE EAST LINE OF SAID STREET AND THE POINT OF BEGINNING.

AS-SURVEYED DESCRIPTION

A TRACT OF LAND BEING PART OF THE SOUTHWEST AND SOUTHEAST QUARTERS OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, HAVING A BASIS OF BEARINGS OF NORTH 00°11'42" EAST 1132.67 FEET BETWEEN THE EXISTING CENTERLINE MONUMENTS LOCATED IN REDWOOD ROAD AT 700 NORTH AND 852 NORTH, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST RIGHT-OF-WAY LINE OF REDWOOD ROAD, SAID POINT ALSO BEING SOUTH 04°35'25" WEST 1241.46 FEET TO THE MONUMENT AT 852 NORTH REDWOOD ROAD (ALSO KNOWN AS SALT LAKE COUNTY POINT NO. 08273001) AND SOUTH 00°11'42" WEST ALONG THE MONUMENT LINE A DISTANCE OF 617.69 FEET AND NORTH 89°58'46" EAST 52.49 FEET FROM THE CENTER OF SECTION 27, TOWNSHIP 1 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE NORTH 89°58'46" EAST ALONG THE SOUTH LINE OF IRVING CIRCLE CONDOMINIUMS, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER A DISTANCE OF 330.45 FEET; THENCE SOUTH 00°13'20" WEST ALONG THE WESTERLY LINE OF SAID PLAT AND THE WEST LINE OF WHITEHEAD PLAT "C" SUBDIVISION, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER A DISTANCE OF 299.01 FEET; THENCE WEST 330.61 FEET TO SAID EAST RIGHT-OF-WAY LINE, THENCE NORTH 00°15'11" EAST ALONG SAID EAST RIGHT-OF-WAY LINE A DISTANCE OF 298.89 FEET TO THE POINT OF BEGINNING.

CONTAINS 98,810 SQUARE FEET OR 2.268 ACRES, MORE OR LESS.

GENERAL NOTES

- OTHER DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:
 - COMMITMENT FOR TITLE INSURANCE ISSUED BY WESTCOT LAND TITLE INSURANCE COMPANY DATED JUNE 5, 2020, ORDER NO. 589ZLP.
 - OTHER DOCUMENTS AS SHOWN ON THIS MAP.
- WILDLING ENGINEERING SURVEYED ABOVE GROUND VISIBLE EVIDENCE OF STRUCTURES THAT WOULD INDICATE THE POSSIBILITY OF AN EXISTING EASEMENT OR ENCUMBRANCE ON THE PROPERTY. A TITLE REPORT WHICH WOULD PROVIDE ADDITIONAL EVIDENCE OF EXISTING UTILITIES WAS NOT PROVIDED FOR THIS PROPERTY AT THE TIME THIS SURVEY WAS CONDUCTED.
- EXCEPTIONS AS SHOWN IN SCHEDULE B - SECTION II FROM THE ABOVE REFERENCED COMMITMENT FOR TITLE INSURANCE HAVE BEEN ADDRESSED AS FOLLOWS:
 - NOT ADDRESSED BY THIS SURVEY.
 - EASEMENT, AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: UTAH POWER & LIGHT COMPANY
PURPOSE: COMMUNICATIONS FACILITIES
RECORDED: JANUARY 15, 1991
ENTRY NO.: 5012526
BOOK/PAGE: 6282/2497
SURVEY NOTES: THE REFERENCED DOCUMENT REFERS TO JORDAN PLAT "A", WHICH WAS NOT FOUND ON RECORD WITH THE SALT LAKE COUNTY RECORDER. THEREFORE, THE EXACT LOCATION OF THIS EASEMENT IS UNKNOWN.
 - AVIGATION EASEMENT TO SALT LAKE CITY CORPORATION AND THE TERMS AND CONDITIONS CONTAINED THEREIN, RECORDED SEPTEMBER 16, 2008, AS ENTRY NO. 1052164, BOOK 9643, PAGE 707.
SURVEY NOTES: BLANKET IN NATURE, AFFECTS ALL OF SUBJECT PROPERTY ABOVE 4377 FEET ABOVE SEA LEVEL.
 - JOINT EASEMENT AGREEMENT TO QWEST COMMUNICATIONS, INC. AND THE TERMS AND CONDITIONS CONTAINED THEREIN, RECORDED NOVEMBER 5, 2008, AS ENTRY NO. 10556624, BOOK 9656, PAGE 9597.
SURVEY NOTES: SHOWN HEREON.
 - NOT ADDRESSED BY THIS SURVEY.

BASIS OF BEARINGS

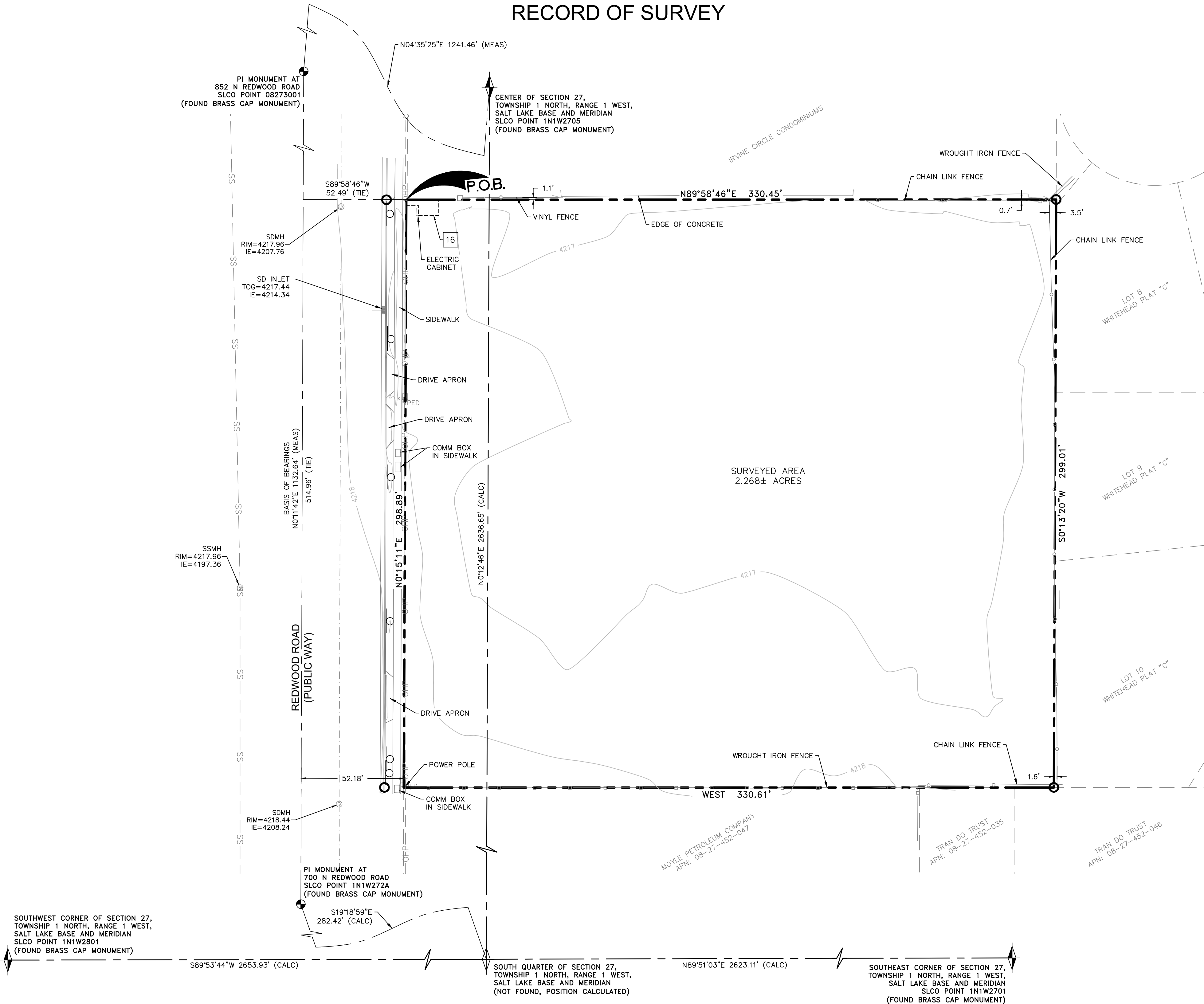
THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 00°11'42" WEST BETWEEN THE STREET MONUMENTS IN REDWOOD ROAD AT 852 NORTH AND 700 NORTH AS SHOWN HEREON.

NARRATIVE OF BOUNDARY

THE PURPOSE OF THIS SURVEY WAS TO LOCATE AND MONUMENT ON THE GROUND THE SURVEYED PROPERTY SHOWN HEREON. STREET MONUMENTS IN WHITEHEAD PLAT "C" WERE USED TO LOCATE THAT SUBDIVISION AND IRVING CIRCLE CONDOMINIUMS.

LEGEND

- FOUND SECTION CORNER
- EXISTING ROW CENTERLINE
- FOUND STREET MONUMENT
- SET PROPERTY CORNER (PLAT NOTED)
- ADJACENT PROPERTY / ROW LINE



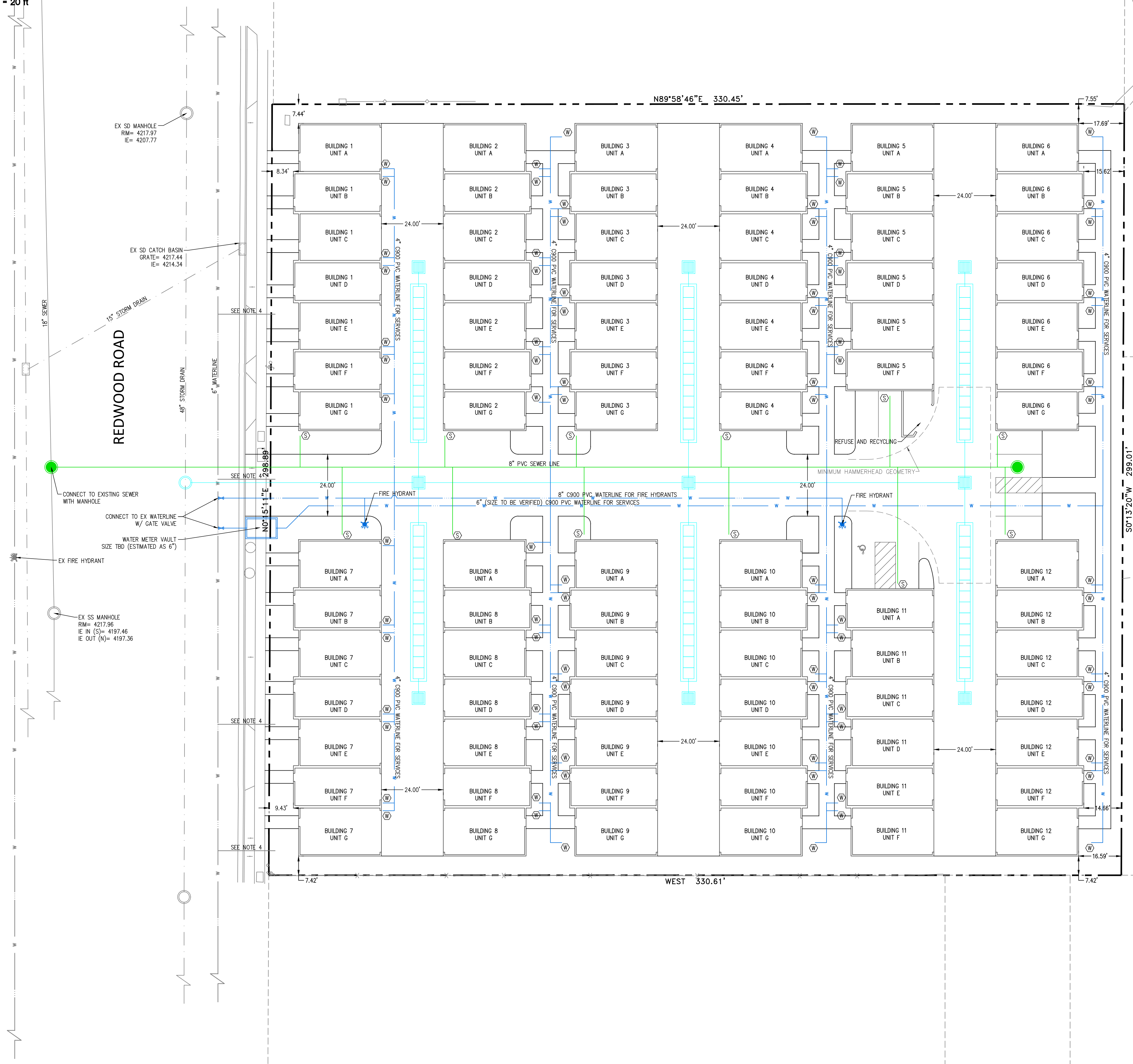
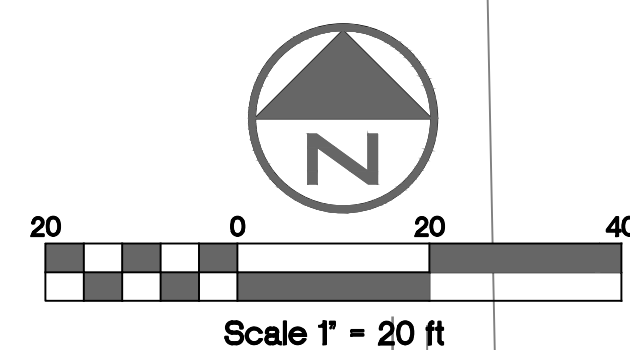
C:\DATA\20131 750 N Redwood Road\dwg\20131 ROS.dwg
PLOT DATE: Jul 13, 2020

UTILITY STATEMENT:
THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND UTILITY MARKINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES STATE THAT THE UTILITIES SHOWN HEREON ARE LOCATED AS ACCURATELY AS POSSIBLE, FROM INFORMATION AVAILABLE AT THE TIME THE SURVEY WAS CONDUCTED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND THE EXACT LOCATION OF SOME UTILITIES MAY REQUIRE FURTHER FIELD INVESTIGATION OR EXCAVATION TO DETERMINE THEIR PRECISE LOCATIONS.

NO.	REVISION	DATE

DRAWING TITLE	PROJECT NAME
RECORD OF SURVEY	COMMUNITY PLAZA PROPERTY
LOCATION	DRAWN
750 N REDWOOD ROAD	KMD
SALT LAKE CITY, UTAH	CHECKED
	SWD

DATE	7/13/2020
SCALE	1" = 30'
SHEET	1 OF 1
COUNTY	SALT LAKE



- DRAWING NOTES:**
1. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APWA STANDARDS AND SLOPE STANDARD PRACTICES.
 2. ALL UTILITIES MUST MEET THE FOLLOWING MINIMUM HORIZONTAL AND VERTICAL SEPARATIONS:
 - WATER AND SEWER - 10" HORIZONTAL, 18" VERTICAL
 - WATER - 5' HORIZONTAL, 12" VERTICAL FROM ANY NON-WATER UTILITY
 - SEWER - 3' HORIZONTAL, 12" VERTICAL FROM ANY NON-SEWER UTILITY
 3. PRIOR TO WORKING IN THE PUBLIC WAY, A LICENSED, INSURED, AND BONDED CONTRACTOR, WHO HAS SAID INFORMATION ON FILE WITH S.L.C. ENGINEERING, MUST OBTAIN A PUBLIC WAY PERMIT FROM SLC ENGINEER AND A TRANSPORTATION PERMIT. ALL WORK IN THE PUBLIC WAY SHALL FOLLOW APWA STANDARDS.
 4. EXISTING WATER SERVICES ARE LOCATED PER SALT LAKE CITY GIS. THE ARE TO BE REMOVED AND KILLED AT THE MAIN.

LEGEND

- PROPOSED WATER SERVICE
 PROPOSED SEWER LATERAL



NO.	REVISION	DATE

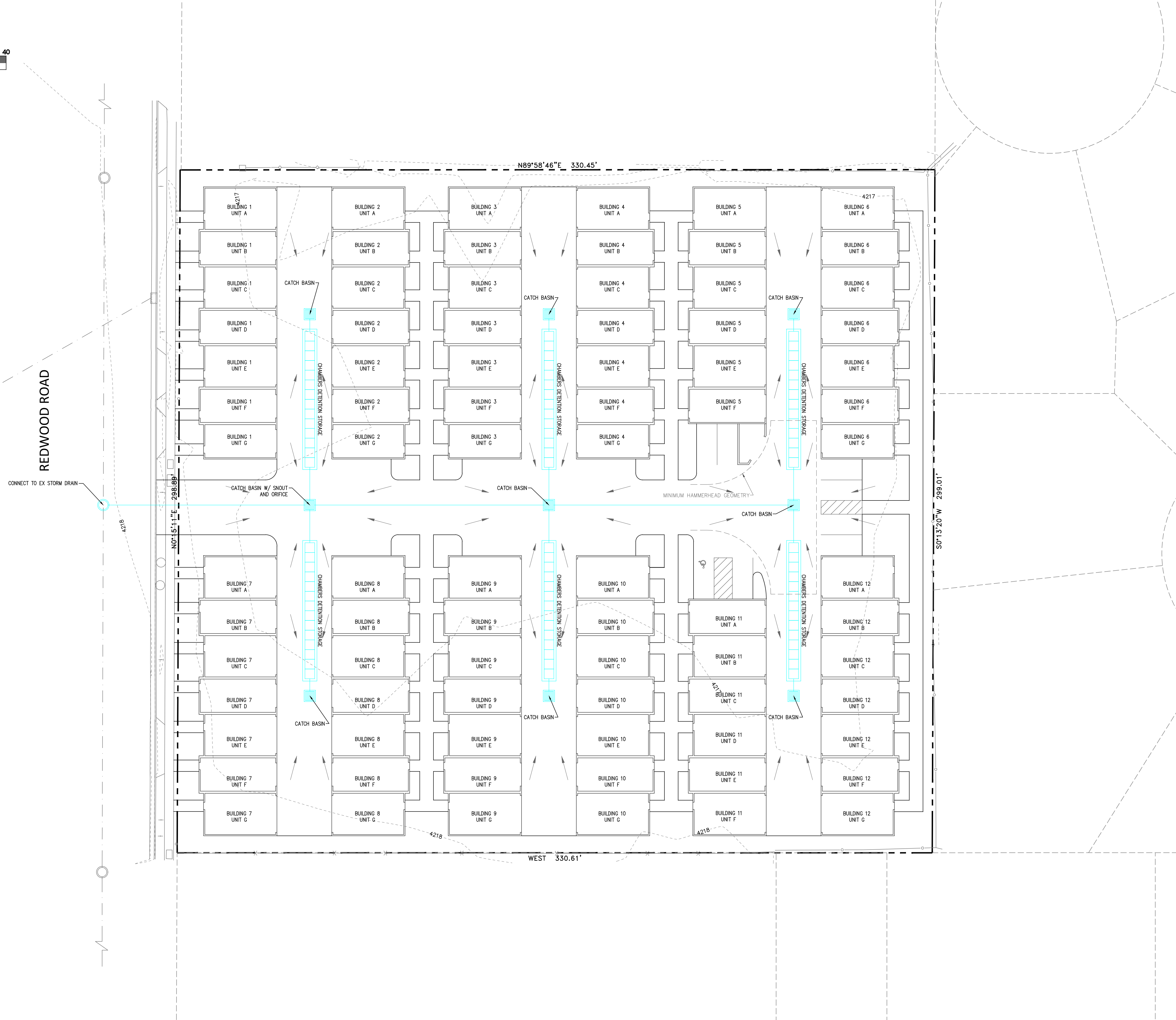
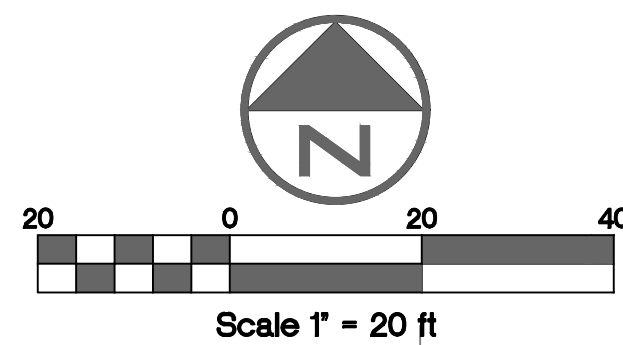
PROJECT INFORMATION

750 RDWD

PRELIMINARY
CIVIL SITE & UTILITY PLAN
50 NORTH REDWOOD ROAD
SALT LAKE CITY, UTAH

DRAWN MEC	CHECKED	PROJECT # 20131
	DATE 6/9/21	
	SCALE 1" = 20'	
ENGINEER'S STAMP	SHEET C201	

G:\DATA\20131 Divalent 750 N Redwood Road\dwg\20131 750 rdwd site plan.dwg



WILDING

ENGINEERING

14721 SOUTH HERITAGE CREST WAY
BLUFFDALE, UTAH 84065
801.553.8112
WWW.WILDINGENGINEERING.COM

DRAWING NOTES:

1. PRIOR TO WORKING IN THE PUBLIC WAY, A LICENSED, INSURED, AND BONDED CONTRACTOR, WHO HAS SAID INFORMATION ON FILE WITH SLC ENGINEERING, MUST OBTAIN A PUBLIC WAY PERMIT FROM SLC ENGINEERING AND PERHAPS A TRANSPORTATION PERMIT. ALL WORK IN THE PUBLIC WAY SHALL FOLLOW APWA STANDARDS.

LEGEND

→ DRAINAGE FLOW DIRECTION

- - - EXISTING INDEX CONTOUR (5')

- - - EXISTING CONTOUR (1')

Blue Stakes of UTAH 811

Bluestakes.org

6: UTA 20131 Develop 750 N Redwood Road\dwg\20131 750 rdwd site plan.dwg
PLOT DATE: Jun 05, 2021

NO.	REVISION	DATE

PROJECT INFORMATION

750 RDWD

PRELMIINARY
GRADING & DRAINAGE PLAN
750 NORTH REDWOOD ROAD
SALT LAKE CITY, UTAH

DRAWN MEC	CHECKED	PROJECT # 20131
	DATE 8/5/20	
	SCALE 1" = 20'	
	SHEET C202	

ENGINEER'S STAMP